

### Gensler

September 14, 2018

Ryan Ivey, Director of Athletics SFA Athletics PO Box 13010 SFA Station Nacogdoches, TX 75962

Subject: Stephen F. Austin State University Athletic Facilities Conceptual Programming, Planning and Cost Estimation

Ryan,

We are pleased to present the Final Conceptual Programming, Planning and Cost Estimation Document for the current state and future planning of the athletic facilities at Stephen F. Austin State University. The document is split into two phases and an appendix. The first phase of the document includes the design team's strategic analysis, visioning and conceptual programming of existing athletic facilities on the campus of Stephen F. Austin University. The report includes a review of the existing athletic facilities, development of a project approach, an initial project vision and conceptual program for development and improvements to the following existing Stephen F. Austin University facilities: SFA Fieldhouse: Sports Medicine Facility/Athletic Academic Center; Homer Bryce Stadium; W.R. Johnson Coliseum; Shelton Gym; and the SFA Soccer Field.

The second phase of the document provides architectural programming, conceptual design and budget information for the venues listed above that will operationally, functionally and aesthetically improve, modernize and/or expand all of the studied facilities. This section includes the conceptual planning for the future improvements to the facilities along with the cost estimating summaries and backup information for each facility.

This document is intended to guide SFASU athletic and facilities departments as they face complicated decisions on how to update their aging facilities while also addressing complex issues. These issues included recruitment of the best athletes, the student-athletes' collegiate experience, the fan expectations, the game day experiences, engaging and retaining quality coaches, revenue generation, venue operations, and project funding.

Gensler Sports believes that we have helped you create and navigate a process and document that has identified, addressed, and responded to these challenges. To that end, our commitment to SFASU has been to be good stewards of your vision and institutional goals and to ensure that each decision in this process was reached in concert with you through a collaborative process based on delivering the greatest value to the University.

Thank you for the opportunity and we look forward to continued work with you in the near future.

Sincerely,

Ryan Sickman
Director | Sports

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### **EXECUTIVE SUMMARY**

With the continued success of the Lumberjacks and Ladyjacks and mindful of the trajectory of collegiate athletics, the SFASU Athletics Department has commissioned a holistic review of its current facilities and the development of a broad vision of its future.

#### INTENT

The following document represents two phases of work completed on behalf of SFASU Athletics and reflects a vision and direction of each program and the department as a whole.

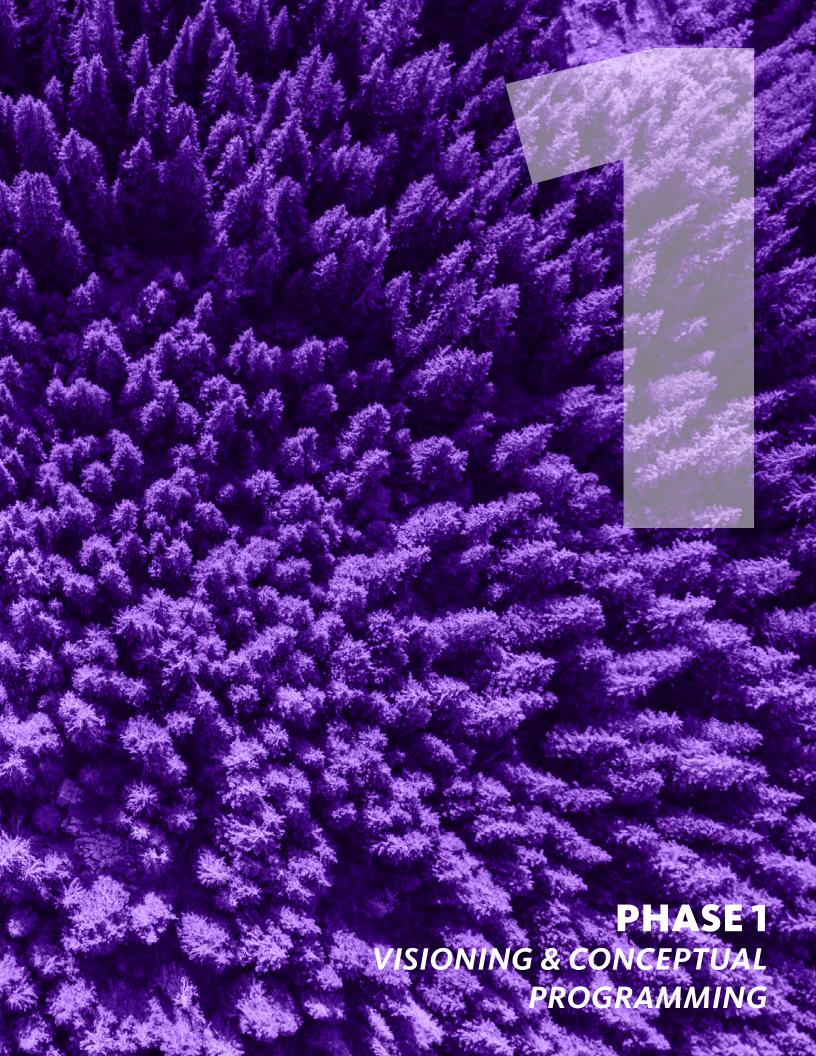
#### Phase I:

The purpose of this study is (1) to evaluate the current condition of the included facilities, (2) to understand their current amenities in comparison to peer institutions, (3) to develop an outline program that anticipates future trends and program needs, (4) to establish project goals that provide top-notch facilities to student-athletes, coaches, staff, and fans, and (5) to provide a design approach for achieving those goals.

#### Phase II:

Upon completion of the first phase, specific attention has been dedicated to Johnson Coliseum, the SFASU Fieldhouse, and Homer Bryce Stadium. This phase focuses on the development of conceptual plans with feedback from each user group. Conceptual cost estimates have been developed based upon these plans for use in strategic planning efforts an as a frame of reference for future design projects.

Potential future projects include: (1) significant expansion and renovation of Johnson Coliseum to provide facilities and amenities to the basketball programs as well as fans and patrons, (2) replacement of the existing fieldhouse with a new, state-of-the-art home for football, track & field, soccer, academics, sports medicine, strength & conditioning, and visiting athletes, (3) significant renovation of Homer Bryce Stadium with the provision of new concourse amenities, entry plazas, structured upper seating, concourse circulation, premium club, private suites, and press box.



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### SITE IDENTIFICATION

The Visioning, Analysis, and Conceptual Programming process has been broken down into five distinct facility components. Each component represents a definable set of User Groups including Student-Athletes, Coaches, Staff, Administrators, and Patrons.

#### 01 FIELDHOUSE

- ATHLETICS ADMINISTRATION
- FOOTBALL
- TRACK AND FIELD
- EQUIPMENT
- SPORTS MEDICINE
- STRENGTH AND CONDITIONING
- ACADEMIC CENTER

#### 02 HOMER BRYCE STADIUM

- FOOTBALL
- TRACK AND FIELD
- GAMEDAY PATRONS
- GENERAL PUBLIC

### 03 WILLIAM R. JOHNSON COLISEUM

- MEN'S AND WOMEN'S BASKETBALL
- GAMEDAY PATRONS
- OTHER EVENT PATRONS

#### 04 SHELTON GYM

- INDOOR VOLLEYBALL
- BEACH VOLLEYBALL
- GAMEDAY PATRONS
- PHYSICAL EDUCATION

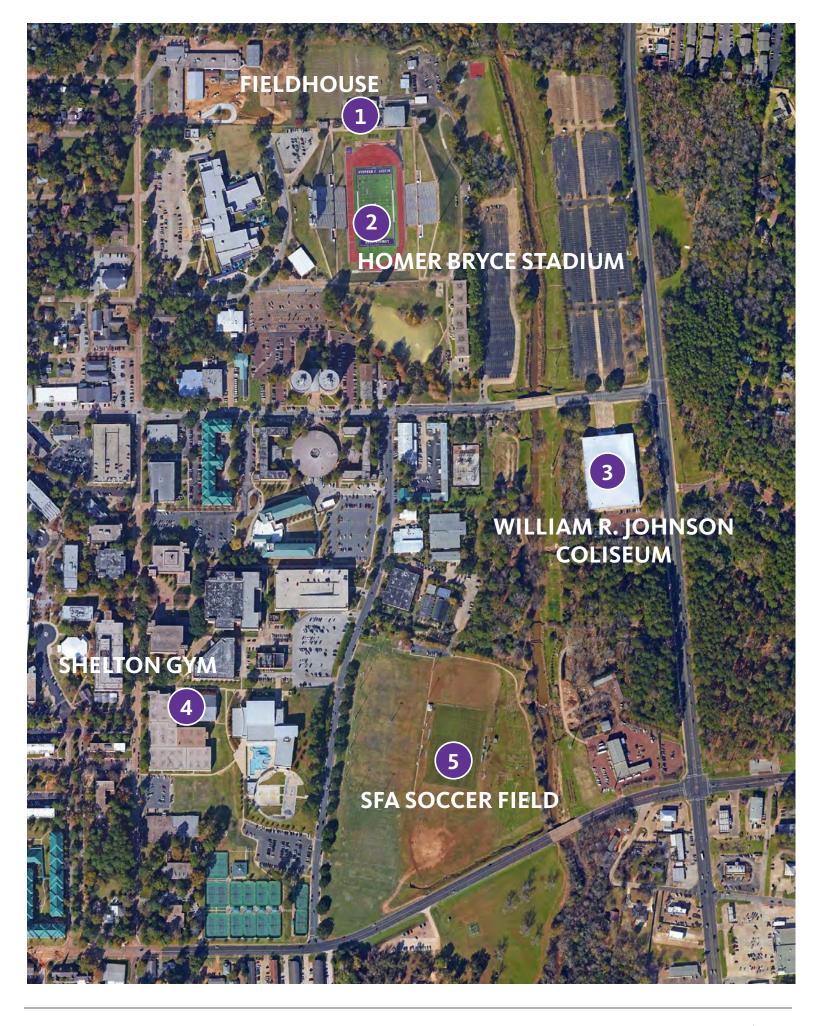
### 05 SFA SOCCER FIELD

- SOCCER
- GAMEDAY PATRONS

#### **APPROACH**

Through site visits, review of available documentation, and discussion with user group representatives, each project component has been evaluated to determine its existing conditions both quantitatively and qualitatively. In parallel with this evaluation, a design approach and conceptual program for each component has been developed based upon the expressed needs and vision of stakeholders as well as industry standards and peer facility comparisons.

This document represents the Design Team's understanding of issues influencing the future development of each component and a proposed strategy for achieving the goals expressed by Stephen F. Austin, Athletics, and each Program.



### **FIELDHOUSE**

The existing SFA Fieldhouse was built in three phases and is home to Athletics Administration, Football, Track and Field, Equipment, Sports Medicine, and Academics.

#### **Building Information**

The three major elements of the existing facility are the original fieldhouse (1), the east wing expansion (2) built in 1988, and the Sports Medicine and Academic Center (3) built in 2003. Each component consists of steel frame construction with brick veneer, metal panel, and storefront facades. The complex represents a total of approximately 30,200 square feet subdivided as follows:

- 1 ORIGINAL FIELDHOUSE: 12,500 SF
- 2 FIELDHOUSE EXPANSION: 12,500 SF
  - a 4,200 SF at Field Level
- 3 SPORTS MEDICINE & ACADEMICS: 5,200 SF

### **Building Condition**

Based on visual inspection, each element is in serviceable condition but in need of significant interior renovation to address functional and aesthetic deficiencies.

In the event of major renovation, all building electrical systems, and domestic and sanitary water systems will need to be replaced in order to comply with current code requirements. Additionally, RTUs and domestic water heaters are at end-of-life and should be replaced.

Public restrooms and the existing field access ramp are not ADA compliant and should be modified to meet current standards.

The building envelopes show wear consistent with the age of each building. Facilities staff advised the design team of water infiltration on the lower level of the Fieldhouse expansion. Further investigation is required to determine the source and develop a solution.

#### **Site Condition**

The building site has no major observable deficiencies or restrictions, however, circulation from the football areas (particularly the football locker room) to the field is cumbersome and time consuming. Vertical circulation of equipment and dressed-out athletes should be minimized if at all possible to promote ease, efficiency, and safety.

#### **Public Interface**

The existing facility has a small centralized lobby and reception area adjacent to multi-use space used for events, recruiting, and trophy display. Signage, wayfinding, and branding is limited in these areas. Stronger brand presence could provide a significant improvement to both the visitor and athlete experience.

\*See Consultants' Support Documents for detailed information regarding MEP systems, structure and envelope, and Accessibility.





## **CONCEPTUAL PROGRAM**

The following conceptual program has been developed based upon the expressed needs of stakeholders with consideration of peer institutions and industry best practices.

		FIELD	DHOUSE
	Space Function	NSF	Notes
ATHLETICS ADMIN	Entry/Hall of Fame Reception/Admin. Asst. Athletic Director's Office Conference Room Office Suite (+/-15) Restrooms Break Room Work/Copy Room Storage Banquet Room (100) Kitchen Total	900 SF 220 SF 320 SF 200 SF 1,800 SF 200 SF 110 SF 120 SF 120 SF 1,500 SF 200 SF	Ticketing, Marketing, & Development located at Coliseum     Banquet Room to be used for Football team meals, recruiting events, etc.
	Check-in	150 SF	Study space to be flexible and adaptable
	Restrooms	240 SF	Computer workstations and group study to be in Open
	Open Study Area (50-60)	1,800 SF	Study Area
	Tutoring Rooms (3 individual)  Computer Lab (in open study area)	360 SF incl	Restrooms to be accessed via Entry/Check-In
	Session Rooms (in open study area)	incl	
-	Group Study (in open study area)	incl	
CENTER	Classroom (30-40)	800 SF	
E E	Asst. AD Office	200 SF	
2	Offices (+/-4)	720 SF	
EM	Work/Break Room	160 SF	
ACADEMIC	Storage/Records Room	160 SF	
AC	Total	4,590 SF	

	Reception/Admin. Asst.	180 SF	All Football Program spaces to be immursively branded
	Head Coach Office (Toilet)	360 SF	Offices, Meeting Rooms, and Coaches Facilities may be
	Conference Room (6-8)	160 SF	elevated above field level
	Restrooms	130 SF	Views of field/stadium from offices and recruit-centric
	Break Room	120 SF	spaces
	Def. Coordinator Office	170 SF	
	Off. Coordinator Office	170 SF	
	Conference Room/War Room (20)	540 SF	
	Director of Ops Office	160 SF	
	Recruiting Lounge	260 SF	
	Recruiting Deck	300 SF	
	Coaches Offices (+/-10)	1,540 SF	
	Copy/Work Room	170 SF	
•	Break Room	120 SF	
•	Video Tech Operations	580 SF	
	Server Room	80 SF	
	GA Workroom	460 SF	
	Storage Room	160 SF	
	Team Meeting Room (+/-150)	3,000 SF	
	Defense (DL)	520 SF	
	Offense (OL)	520 SF	
	Cornerbacks	440 SF	
	Linebackers	440 SF	
	Safeties	440 SF	
	Tight Ends	440 SF	
	Running Backs	440 SF	
	Receivers	400 SF	
ES	Quarterbacks	200 SF	
Ę	Interview Room	600 SF	
5	Team Locker Rooms (120)	4,900 SF	
۱F۵	Player Lounge	1,100 SF	
LL PROGRAM FACILITIES	Team Showers & Toilets	1,400 SF	
GR	Storage	200 SF	
l RC	Men's Coaches Lockers	540 SF	
= = = = = = = = = = = = = = = = = = = =	Men's Coaches Showers & Toilets	520 SF	
BA	Women's Coaches Lockers	540 SF	
ГООТВА	Women's Coaches Showers & Toilet	520 SF	
F0	Total	22,820 SF	
	Vestibule	150 SF	Direct field access
	Player Locker room	2,600 SF	Simple, clean, budget conscious
ES	Player Toilets & Showers	1,000 SF	
Ē	Player Training/Taping	580 SF	
Z Z	Coaches Locker Room	630 SF	
₹	Coaches Toilets & Showers	500 SF	
OR	Interview Room	320 SF	
VISITOR AMENITIES	Equipment/Storage	320 SF	
>	Total	6,100 SF	
	Large Legisers (7)	100 CF	Direct field coors
	Large Showers & Toilets	180 SF	Direct field access
	Large Showers & Toilets	140 SF	
\LS	Small Lockers (4)	120 SF	
OFFICIALS	Small Showers & Toilets  Meeting Room	100 SF 160 SF	
FF	Total	700 SF	
. 0	IULAI	/ UU 3F	

	Hydrotherapy	1,200 SF	Main Sports Medicine for use by Football and other athletes
-	Rehab Area	1,000 SF	requiring more intensive treatment
-	Treatment	1,400 SF	
-	Taping	480 SF	
-	Drug Testing	80 SF	
-	Exam Room	160 SF	
-	Procedure Room	160 SF	
_	X-Ray	180 SF	
_	Head Trainer Office	180 SF	
-	Asst. Trainer Office (3)	390 SF	
-	Staff Workroom (6-8)	480 SF	
-	Conference/Meeting (20)	480 SF	
-	Full Time Staff Lockers (8)	140 SF	
	Student Staff Lockers (24)	240 SF	
	Men's Restroom + Shower	120 SF	
쀨	Women's Restroom + Shower	120 SF	
	Storage	120 SF	
	Carts/Drink/Ice Room	240 SF	
S.	Medical File Storage w/Workstation	240 SF	
SPORTS MEDICINE	Nutrition Bar	incl	
SP(	Total	7,410 SF	
-	Manager Office	150 SF	Assumes exterior main receiving
-	Distribution/Staging	600 SF	<ul> <li>Direct access to Staging from loading dock</li> </ul>
-	Cubby Foyer/Issue	800 SF	
-	Work Room	1,200 SF	
-	High Density Storage	800 SF	
-	Breakroom (6)	120 SF	
-	Managers' Lockers (6)	120 SF	
-	Uniform Drying	300 SF	
⊢⊢	Dock/Receiving	400 SF	
<b> </b> ₩.	Secure Storage	100 SF	
_ ₹	Trunk Storage	330 SF 1,200 SF	
EQUIPMENT	Laundry Room	,	
Й	Total	6,120 SF	
	Weight Room	12,000 SF	All sports other than Football and Basketball to use existing
	Cardio	400 SF	Health & Wellness Center
S S	Nutrition Station	280 SF	Training Contain
∞ z	S&C Coach Office	150 SF	
T ^		_50 5.	
GTH TO	S&C Conf. Room	180 SF	
STRENGTH & CONDITIONING	S&C Conf. Room S&C Storage	180 SF 180 SF	

	Reception/Admin.	260 SF	Athelete amenities to have direct field access
-	Restroom	65 SF	Brand immursion
-			• Dranu illinursion
-	Head Coaches Office	200 SF	
	Asst. Coaches Offices (5)	650 SF	
	Conference Room (10 persons)	210 SF	
	Break Room	120 SF	
	Copy/Work Room	160 SF	
	Men's Coaches Lockers	250 SF	
	Men's Coaches Showers & Toilets	200 SF	
	Women's Coaches Lockers	250 SF	
	Women's Coaches Showers & Toilet	200 SF	
	Men's Lockers (50)	900 SF	
S	Men's Showers & Toilets	700 SF	
FACILITIES	Women's Lockers (60)	1,100 SF	
	Women's Showers & Toilets	850 SF	
FAC	Nutrition Bar (in Lounge)	incl	
¥	Combined Lounge/Mtg. Room	550 SF	
] <u>%</u>	Sports Medicine	400 SF	
PROGRAM	Trainer's Office	160 SF	
A P	Hydrotherapy	360 SF	
TRACK	Storage	200 SF	
TR	Total	7,785 SF	

	Mechanical		• 30% Grossing Factor includes all building services, walls,
	Electrical		corridors, circulation, etc.
	Data/Tel		
	Janitor		
	Elevators		
	Stairs		
ES	Workroom/Breakroom		
$\subseteq$	Maint. Storage		
ERV	Field Maint. Storage		
G SE	Toilet		
5N I	Storage		
	Track Event Storage		
BU	Total	22,322 SF	

### PROGRAM SUMMARY

	ATHLETICS ADMIN	5,690 SF	Approx. 40,000SF req'd at field level
	ACADEMIC CENTER	4,590 SF	Main Sports Medicine for use by Football and other athletes
	SPORTS MEDICINE	7,410 SF	requiring more intensive treatment
	EQUIPMENT	6,120 SF	Football specific S&C, Basketball S&C at Colesium, others to
	FOOTBALL PROGRAM FACILITIES	22,820 SF	use existing Health & Wellness Center
	STRENGTH & CONDITIONING	13,190 SF	
ш	TRACK PROGRAM FACILITIES	7,785 SF	
USE	VISITOR AMENITIES	6,100 SF	
오	OFFICIALS	700 SF	
I D	BUILDING SERVICES	22,322 SF	
FIE	Total	96,727 SF	

### **DESIGN APPROACH**

Based upon existing site conditions and constraints in conjunction with the expressed programmatic needs, the following is a recommended approach for achieving the established design goals.

### 1 RENOVATE EXISTING ANNEX

The existing Sports Medicine and Academic Center is in serviceable condition. Its scale, footprint, and position as an independent structure accommodate the requirements of a re-envisioned Academic Center.

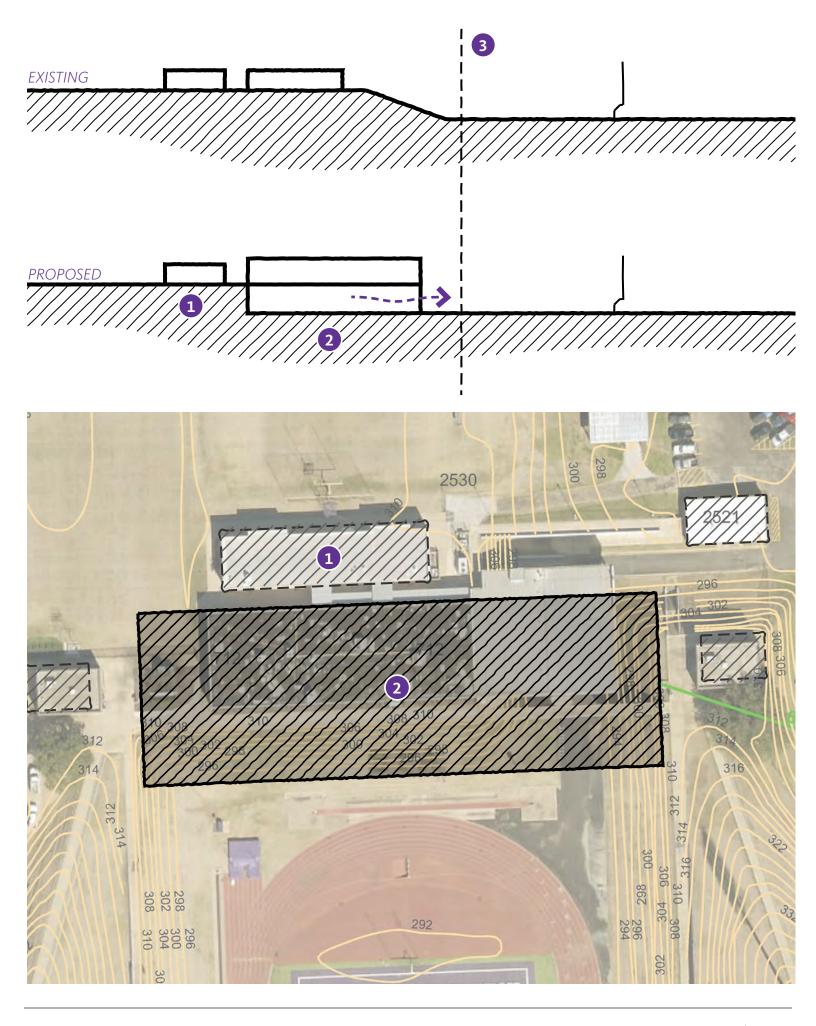
### 2 NEW FIELDHOUSE

To provide adequate field access and total building area, a new, multi-level fieldhouse with an approximate field level footprint of 40,000 SF is proposed. The new facility would be home to Athletics Administration, the Football and Track and Field programs, Equipment Management, Football specific Strength and Conditioning as well as Visitor and Officials facilities.

A prominent south facing facade creates on-field presence for the athletic department, impactful moments and views for recruits, and a "home-like" destination for student athletes.

### 3 EXISTING TRACK

In this scheme, the majority of existing track components could remain intact. The dashed line (3) represents the edge of the existing track surface. Depending upon the final location of building access points, it may be necessary to relocate the existing pole vault runways to maintain a comfortable circulation pattern.



### **HOMER BRYCE STADIUM**

The existing stadium is home to Stephen F. Austin Football and Track and Field and also serves as an amenity to SFA students and the Nacogdoches community at-large.

### **Building Information**

Bryce Stadium is a multi-sport athletic venue with a seating capacity of approximately 14,500 and acceptable parking capacity within a reasonable walking distance. The facility's extensive use of berming is aesthetically unique but brings with it significant functional limitations. Major facility components are as follows:

### 1 MAIN ENTRY

A significant percentage of patrons enter through the southwest gates. Limited circulation space creates considerable congestion.

### 2 ON-GRADE SEATING

All current fixed seating is constructed on-grade.

### 3 PRESS BOX

The existing press box is built on shallow footings on a fill-dirt berm which complicates the constructibility of any future expansion. The existing column grid does not accommodate typical suite width and spacing, creating odd conditions and poor sightlines from some seats.

### 4 CONCESSIONS

The current concessions areas are built into the earthen berms. They are limited in working depth, access, storage, and queuing area. Additionally, the ratio of patrons to points-of-sale does not meet today's design best practices.

### 5 RESTROOMS

Existing patron restroom facilities are isolated and do not meet current plumbing code mandated fixture counts.

### 6 FILL DIRT BERMS

The stadium is surrounded by grass covered berms. This creates unique seating environments in certain locations and their general perception should be preserved as an identifying "trademark" of the facility. Their extent, however, occupies the majority of prime programmatic real estate throughout the facility.

#### **Building Condition**

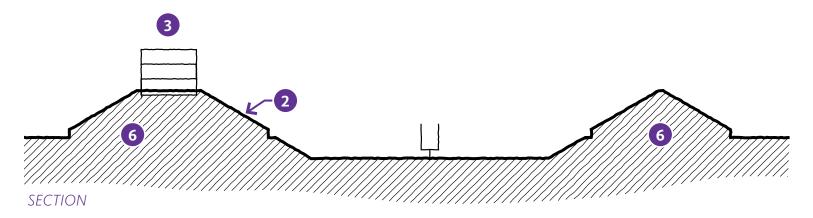
Based on visual inspection, the stadium is in fair condition with several issues to be addressed in the near future - regardless of renovation or expansion.

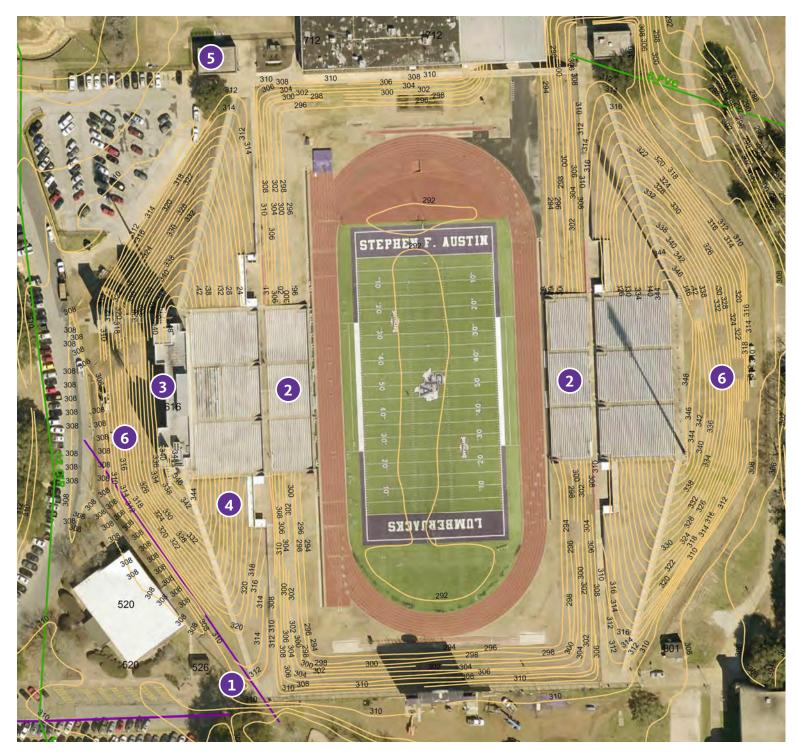
There are several water management issues including concourse drainage and press box roof ponding. Additionally, there is observable cracking and spalling throughout the seating bowl. These conditions should be addressed to prevent further problems.

Public restrooms are generally ADA compliant but are isolated and do not meet current fixture count requirements. Any major renovation will require the facility to be made compliant.

Press Box HVAC systems have no redundancy.

\*See Consultants' Support Documents for detailed information regarding MEP systems, structure and envelope, and Accessibility.





### **CONCEPTUAL PROGRAM**

The following conceptual program has been developed based upon the expressed needs of stakeholders with consideration of peer institutions and industry best practices.

		HOMER BR	YCE STADIUM
	Space Function	NSF	Notes
PATRON AMENITIES	Entry Plazas (4)  Concourse West  Concourse East  Concourse South  Concourse North  Passenger Elevators (1)  Service Elevators (1)  Stairs (min. 2)  Concessions (48 POS @ 1:300)  Restrooms (approx. 286)  Family Restroom (4)  Guest Services (2)  First Aid (2)  Team Store  Storage	16,000 SF 17,800 SF 17,800 SF 7,600 SF 7,600 SF 80 SF 120 SF 740 SF 5,600 SF 10,868 SF 320 SF 240 SF 320 SF 240 SF	Majority of entry traffic from SW corner - addt'l entry width needed     Possible public restrooms outside security     Security line needed at NW
<u>'</u>	Total	85,448 SF	
SEATING BOWL	Club Seats (125) Premium Loge (200) Club Restrooms (2SF/P) Club (325) Club Pantries (1SF/P) Premium Suites (10) Pres./Unique Suites (1) Chairbacks Bench (existing) Berms Accessible	existing bowl existing bowl 650 SF 2,275 SF 325 SF 4,800 SF 640 SF existing bowl 58,000 SF existing bowl	<ul> <li>All existing suites sold</li> <li>Waiting list for existing club seats</li> <li>Significant drainage issues on existing concourse</li> <li>Need addt'l club food prep and service area</li> </ul>
SE	Total	66,690 SF	

	Home Radio	240 SF	TV broadcast located on roof
	Visitor Radio	240 SF	<ul> <li>All suites to be located on single level</li> </ul>
	Coaches 1	240 SF	
	Coaches 2	240 SF	
	Scoreboard Ops	240 SF	
	PA	240 SF	
ES	Replay Booth	240 SF	
5	Stadium Ops	240 SF	
ACI	TV/Support	Roof	
A F/	Writing Press	1,200 SF	
ā	Media Toilets	240 SF	
ME	Total	3,360 SF	

	Event Equipment Storage	2,400 SF
	General Storage	800 SF
AC.	Security Fencing	
T.	Total	3,200 SF

FA	Total	11,026 SF
l l	Security & Meeting/Staging Room	240 SF
<u>`</u> [	Grossing Factor @ 20% Int. Space	6,238 SF
O	MEP @ 10% Interior Space	3,119 SF
E.	General Storage	200 SF
ATI	Janitor Closets	200 SF
ONS	Central Custodial	200 SF
	Vendors (2)	300 SF
	Storage	200 SF
	Ticketing Office	120 SF
	Ticketing Windows (6)	210 SF

### PROGRAM SUMMARY

H ST	Total	169,724 SF	
AD I	FACILITY OPERATIONS	11,026 SF	• 10 suites
HOMER BRY STADIUM	TRACK	3,200 SF	• Club for 325 (200 loge + 125 club)
. %  - %	MEDIA FACILITIES	3,360 SF	Existing seating bowl area
S	SEATING BOWL	66,690 SF	Code minimum restroom fixtures (approx. 286)
	PATRON AMENITIES	85,448 SF	Concessions at 1:300 (48 POS)

### **DESIGN APPROACH**

Based upon existing site conditions and constraints in conjunction with the expressed programmatic needs, the following is a recommended approach for achieving the established design goals.

### 1 DISTRIBUTED ENTRIES

The current main entrance on the SW corner should be widened to accommodate patron volume and a plaza area created to prevent concourse bottlenecking. Alternate entries should be established including a new Main Entry at the 50 yard line on the west side.

### ON-GRADE LOWER BOWL

The existing lower bowl and berms should be preserved to maintain the unique experience of the venue. Some minor concrete repair may be required and the marketability of chairback seating in the highest value areas should be considered. If necessary, the lower bowl seating could be expanded over time.

### 3 ELEVATED UPPER BOWL

In order to open up buildable area at concourse level, elevated, structured seating should be considered in a redesigned upper seating bowl. This arrangement creates a more traditional configuration of services beneath seating.

### 4 NEW CONCESSIONS

Best practices suggest that a venue of this type have a pointof-sale to patron ratio of 1:300. In this facility, this ratio yields approx. 48 POS.

### 5 NEW RESTROOMS

In order to meet the current plumbing code, this venue requires approx. 286 plumbing fixtures (urinals, water closets, and lavatories). New space will be required to accommodate these fixture counts and should be provided in convenient locations around the facility.

### 6 NEW ELEVATED PRESS BOX

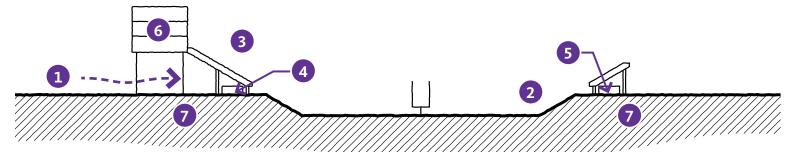
An elevated press box of appropriate scale will create a much needed "grand entry" to the venue with significant street presence currently prevented by the existing grass berm.

### 7 EXPANDED CONCOURSE AREA

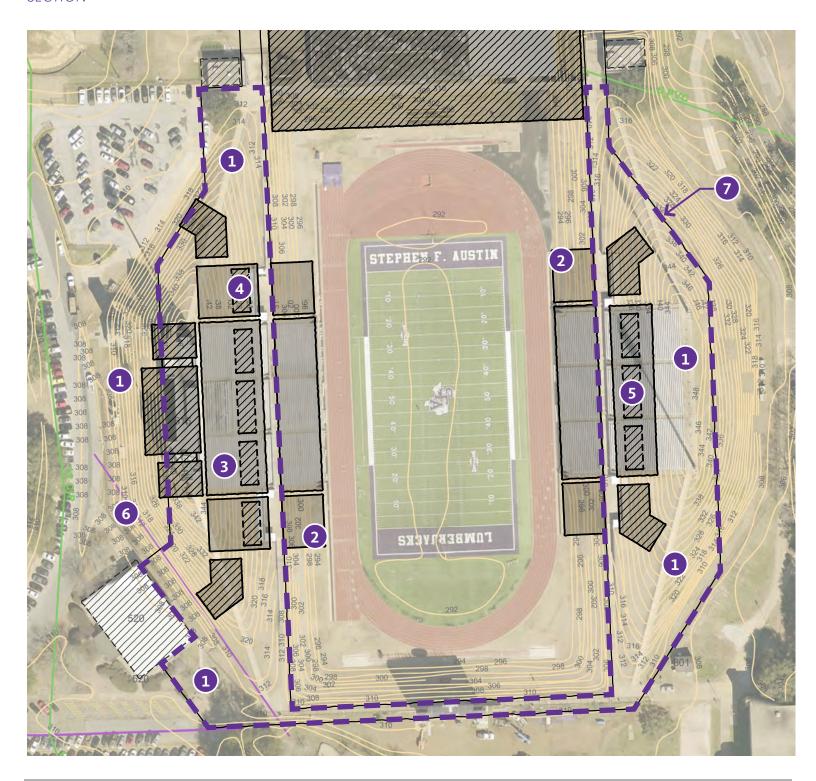
An elevated upper bowl provides the required concourse space to accommodate expanded patron amenities and provide appropriate, industry standard circulation.

#### **PHASING**

This project should be designed in a manner that allows for strategic phasing of its elements. While there are some cost benefits associated with completing construction in a single phase, the design team recognizes that this approach is not always feasible. A phased approach allows critical issues to be addressed in the short-term without compromising the long-term vision of the project.



SECTION



# 05

## W.R. JOHNSON COLISEUM

The existing arena is home to Stephen F. Austin Men's and Women's Basketball and hosts Commencement ceremonies and other community events.

### **Building Information**

William R. Johnson Coliseum is a multi-purpose venue with a seating capacity of approximately 7,200. The west, north, and east seating bowl are constructed on grade, providing ingress/egress at Concourse Level, while the south section of the bowl is structured with basketball program facilities beneath. Major facility and site elements are as follows:

### 1 ARENA

The Arena consists of approx. 89,000 gross SF, 11,000 of which are located on the south end at Event Level. The facility is surrounded by earth berms which serve to separate it from the adjacent FEMA Floodway.

### 2 FEMA FLOODWAY

The Floodway is defined as "the channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height." In other words, no construction is permitted in this area.

### 3 FEMA 100 YEAR FLOODPLAIN

The 100 Year Floodplain is defined as "the area that will be inundated by the flood event having a 1 percent chance of being equaled or exceeded in any given year." Construction in this area is typically required to be elevated out of the floodplain to above the Base Flood Elevation.

### 4 FEMA 500 YEAR FLOODPLAIN

The 500 Year Floodplain is defined as "the area that will be inundated by the flood event having a 0.2 percent chance of being equaled or exceeded in any given year." Construction in this area is typically considered lower risk and comes with fewer development restrictions than the 100 year floodplain.

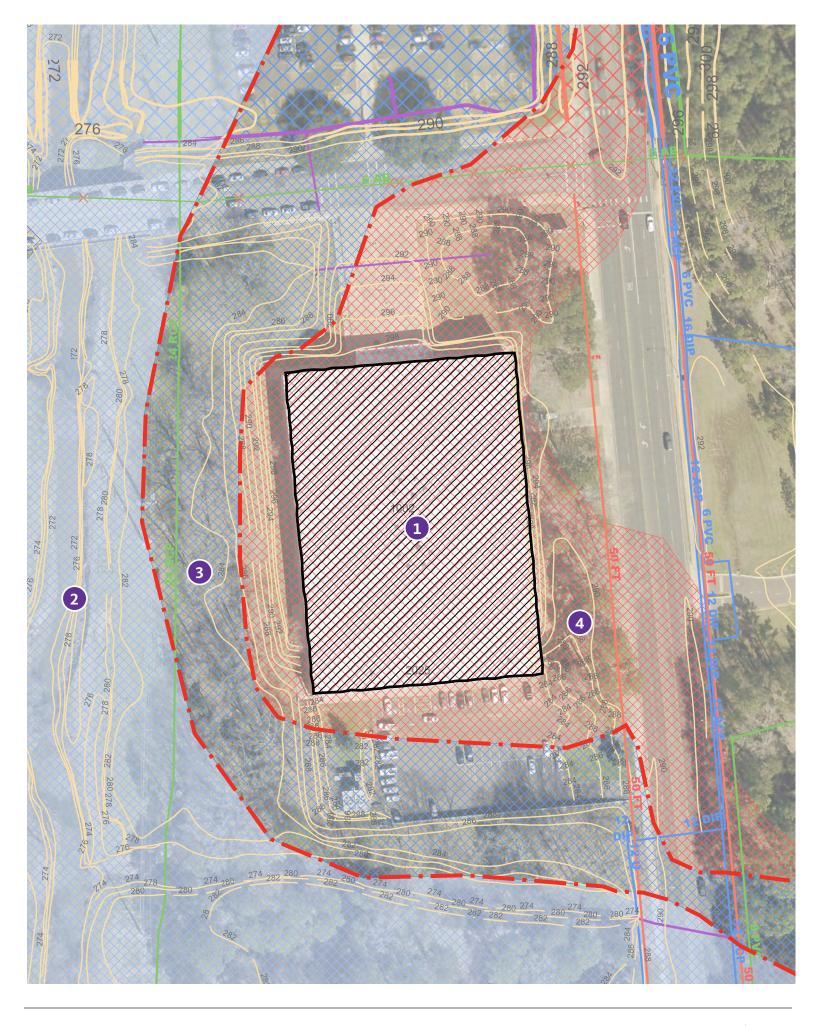
#### **Building Condition**

Based on visual inspection, the arena is in serviceable condition. There are maintenance issues commensurate with its age that should be addressed in short order - regardless of renovation or expansion - particularly with plumbing systems. As funds become available, it is also recommended that the facility's lighting systems be updated to LED.

The design team observed ADA compliance concerns with accessible seating numbers and dispersion as well as ticket counters and court access ramp.

Additional design issues include insufficient concourse circulation space, lack of queuing space at restrooms and concessions; the current ratio of patrons to points-of-sale does not meet today's design best practices, and restroom facilities do not meet current plumbing code fixture count requirements.

\*See Consultants' Support Documents for detailed information regarding MEP systems, structure and envelope, and Accessibility.



### **CONCEPTUAL PROGRAM**

The following conceptual program has been developed based upon the expressed needs of stakeholders with consideration of peer institutions and industry best practices.

WILLIAM R. JOHNSON COLISEUM			
Space Function	NSF	Notes	
Main Entry Plaza	Ext.		
Main Entry Vestibule	600 SF		
Main Entry Lobby	1,200 SF		
Entry/Exits (+/-4)			
Entry/Exit Vestibules (+/-4)	n/a		
Concession (24 POS @ 1:300			
Pantries (2)	360 SF		
Catering Kitchen (Club)	480 SF		
Vendors (2)	360 SF		
Storage (4)	480 SF		
Restrooms (153 Fixtures)	5,800 SF		
Family Restrooms (4)	320 SF		
First Aid/Security	160 SF		
S Guest Services	120 SF		
Team Store	240 SF		
Storage	100 SF		
Concourse (3.5 SF/P)	25,200 SF		
Elevator - Passenger (1)	80 SF		
Elevator - Service (1)	120 SF		
Elevator Lobby	120 SF		
Stairs	320 SF		
First Aid/Security Guest Services Team Store Storage Concourse (3.5 SF/P) Elevator - Passenger (1) Elevator Lobby Stairs Total	38,860 SF		
•	•		
Ticket Windows (12)	420 SF		
Ticket Manager Office	120 SF		
Counting Room/Vault	120 SF		
Student Workspace (3)	240 SF		
Call Center (5)	400 SF		
Marketing Offices (3)	360 SF		
Development Offices (4)	480 SF		
Ticket Manager Office Counting Room/Vault Student Workspace (3) Call Center (5) Marketing Offices (3) Development Offices (4) Office Suite Reception Total	100 SF		
Total	2,240 SF		

BO	Total	40,000 SF
Ĭ	Loge Seating	
Į ₹	Club Restrooms (2SF/P)	400 SF
\frac{1}{2}	Club Pantries (1SF/P)	200 SF
ΙĘ	Club (7SF/P)	1,400 SF
ES	Club Seating (200) (in existing SF)	
	Accessible Seating(in existing SF)	
	Seating Bowl (existing)	38,000 SF

	Practice Courts	10,600 SF
	Practice Court Storage	450 SF
	Weight Room	2,200 SF
	S&C Office	140 SF
	S&C Storage	160 SF
	Training Room	960 SF
L	Hydrotherapy	500 SF
	Exam Room	150 SF
	Trainer Office	100 SF
	Trainers Lockers	160 SF
	Trainer Storage	100 SF
	Equipment	540 SF
	Equipment Work Room	240 SF
	Managers Lockers	120 SF
	Laundry Room	280 SF
	BB Reception/Team Meal	540 SF
Ī	Men's Head Coach Office	250 SF
Ī	Men's Conference Room	260 SF
	Offices (4+)	520 SF
	Recruiting Lounge	240 SF
	Men's Coaches Lockers	200 SF
ŀ	Men's Coaches Showers & Toilets	140 SF
ľ	Film Editing (3)	160 SF
ľ	Copy/Work Room	130 SF
ŀ	Break Room	80 SF
ŀ	Storage	120 SF
ŀ	Restrooms	160 SF
-		
	Women's Head Coach Office	250 SF
ES	Women's Conference Room	260 SF
₽ŀ	Offices (4+)	520 SF
AC	Recruiting Lounge	240 SF
× .	Women's Coaches Lockers	200 SF
Z-	Women's Coaches Shower & Toilets	140 SF
90	Film Editing (3)	160 SF
PŘ	Copy/Work Room	130 SF
4	Break Room	80 SF
βA		120 SF
ΧĒ		160 SF
3AS		21,760 SF
BASKETBALL PROGRAM FACILITIES		Storage Restrooms Total

	Mania Lagiar Da - :	1,000,00
	Men's Locker Room	1,000 SF
	Men's Showers & Toilets	600 SF
	Men's Lounge	570 SF
	Men's Film/Mtg. Room	480 SF
ES	Men's Storage	100 SF
Ë	Women's Locker Room	1,000 SF
Z H	Women's Showers & Toilets	600 SF
PLAYER AMENITIES	Women's Lounge	570 SF
	Women's Film/Mtg. Room	480 SF
	Women's Storage	100 SF
Ы	Total	5,500 SF
	Event Floor Lobby	400 SF
	Event Level Corridor	
	Event Floor	8,800 SF
	Event Level Restrooms	480 SF
	Courtside Seating and Overrun	1,600 SF
	Men's Day of Game Lockers	450 SF
	Women's Day of Game Lockers	450 SF
	Visiting Men's Lockers (15)	320 SF
	Visiting Men's Showers & Toilets	260 SF
	Visiting Women's Lockers (15)	320 SF
	Visiting Women's Showers & Toilets	260 SF
	Aux/Coaches Lockers (2@15)	640 SF
	Aux/Coaches Showers & Toilets (2)	520 SF
	Visitor Sports Medicine	240 SF
	Officials Men's Lockers	100 SF
ES	Officials Men's Showers & Toilets	140 SF
E	Officials Women's Lockers	100 SF
5	Officials Women's Showers & Toilet	140 SF
[ A	Loading/Marshalling	800 SF
l El	Main Storage	2,400 SF
	Event Storage	1,200 SF
VENT LEVEL FACILITIES	Backboard/Court Storage	600 SF
I S	Total	20,220 SF
	Workroom/Interview Room	400 SF
•	Production Suite	720 SF
S	A/V Rack	120 SF
MEDIA FACILITIES	Storage	150 SF
	Media Toilets	280 SF
FA	Cheerleader Lockers	240 SF
Α̈́	Employee Lockers/Check-in	2-10-51
AEC	Employee Lockers/ effect in	1,910 SF
2		T,3TO 2L

	Boiler	
	Chiller	
	Mech. Closets	
	Electrical Main	
	Emergency Elec.	
	Elec. Risers	
	Fire Pump/Sprinkler Riser	
	Data/Tel Main	
	Data/Tel Risers	
ES	Central Custodial	
SERVICES	Janitor Closets	
ER/	Trash & Recycling	
	Maint. Storage	
DING	Elev. Machine Rooms	
	Air Handlers	
BUILI	Total	39,147 SF

## PROGRAM SUMMARY

	PATRON AMENITIES/SERVICES	38,860 SF	Concessions at 1:300 (24 POS)
	TICKETING/MARKETING	2,240 SF	Code minimum restroom fixtures (approx. 153)
٧	BOWL AMENITIES	40,000 SF	Concourse at 3.5SF/person
SEI	PLAYER AMENITIES	5,500 SF	Existing seating bowl area
OLI	BASKETBALL PROGRAM FACILITIE	21,760 SF	Club for 200 (with req'd support spaces)
Ŭ	EVENT LEVEL FACILITIES	20,220 SF	Practice Facility at approx. 32,000SF
SOI	MEDIA FACILITIES	1,910 SF	Renovated Event Level facilities
Ž	BUILDING SERVICES	39,147 SF	
ō	Total	169,637 SF	

### **DESIGN APPROACH**

Based upon existing site conditions and constraints in conjunction with the expressed programmatic needs, the following is a recommended approach for achieving the established design goals.

### 1 NEW BASKETBALL PRACTICE FACILITY

Approximately 32,000 SF of program including practice court, shooting area, player amenities for each program, and coaches areas. Access to the facility is separate from the Coliseum providing a "destination" for student athletes and a "front door" for recruits and visitors.

### PATRON AMENITIES ADDITIONS

Strategic additional square footage for circulation and queuing space as well as expanded patron restroom facilities and concessions. A venue of this type should have a point-of-sale to patron ratio of 1:300. In this facility, this ratio yields approx. 24 POS. In order to meet the current plumbing code, this venue requires approx. 153 plumbing fixtures (urinals, water closets, and lavatories).

### 3 SUPPORT ANNEX

Additional square footage or support functions including marketing, development, and ticketing staff, call center, and box office.

### 4 PREMIUM AMENITIES

New concourse level Club and Club support spaces for events, fundraisers, and gameday use.

### 5 EVENT LEVEL RENOVATIONS

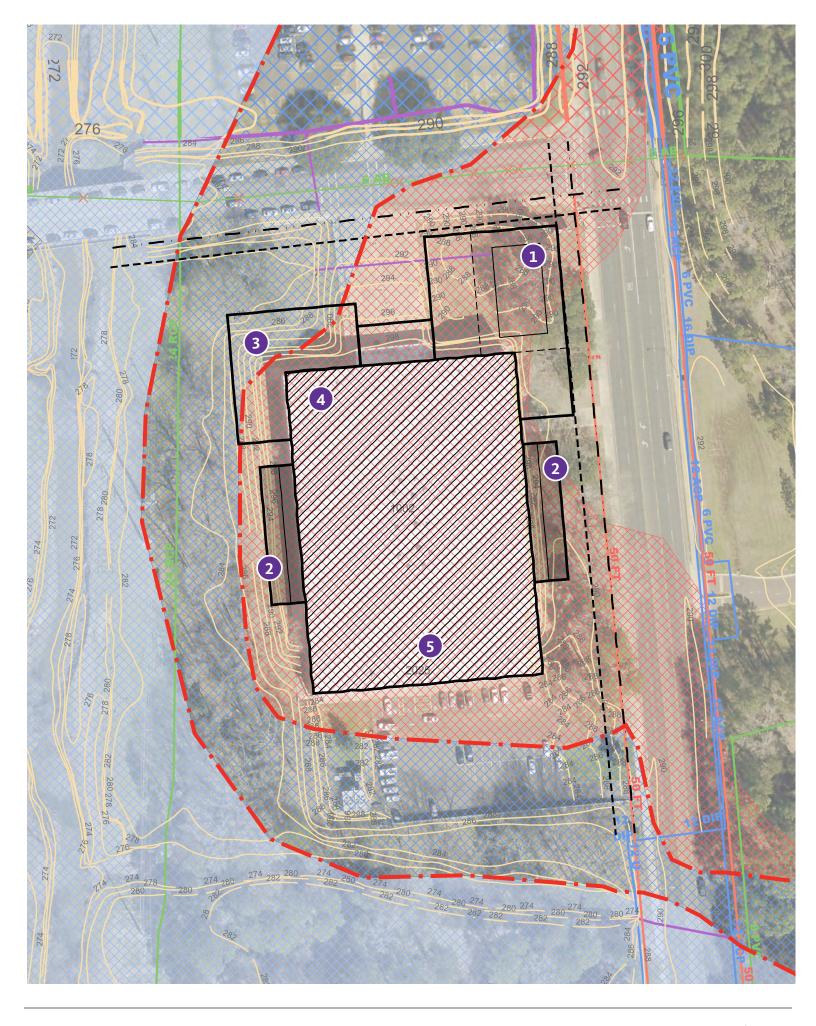
11,000 SF of renovated space with direct court access for Officials, Visitor, and Day-of-Game locker rooms for the basketball programs.

#### **DESIGN CHALLENGES**

The Coliseum carries significant design challenges. The site area available for expansion is extremely limited due to the adjacent floodplain and narrow setback from University Dr. The proposed renovations and additions may require the alteration of the current 100-year floodplain - a process which can impact design and construction schedules significantly and should not be overlooked in future design phases.

In addition to program and cost concerns, utilizing the existing, on-grade bowl does not provide significant opportunity for the introduction of premium product without significant seat loss. It is recommended that analysis be done in regard to the viability of and demand for general and premium seating both today and in the future to determine whether the existing arena can reasonably accommodate future seating needs.

This Design Approach operates under the assumption that the existing arena is to remain in place. While a new facility could better accommodate the proposed programmatic elements, the Design Team believes, based on available information, that this represents the best balance of meeting programmatic requirements within a reasonable budgetary framework.



# 06

### **SHELTON GYM**

The existing gymnasium is home to Stephen F. Austin Volleyball as well as a series of other day-to-day users. Originally built in the 1950s, it sits in the heart of campus and has a storied history interwoven with Lumberjack athletics.

### **Building Information**

Shelton Gymnasium is a court-sport athletic venue with a seating capacity of approximately 600, and is shared with Physical Education, Cheerleading, and other users. It has undergone a series of renovations over its lifespan as well as significant adjacent additions. Major facility components are as follows:

### SHELTON GYM

The existing gym is split into two levels. Level one is approx. 20,300 SF and includes the maple court surface, player spaces, sports medicine, and support spaces. Level two is approx. 9,800 SF of venue seating and classroom space.

### 1 HEALTH AND P.E. COMPLEX

The attached Health and Physical Education Complex serves as a vertical circulation path for the gymnasium.

### 3 STUDENT RECREATION CENTER

The adjacent SFA Rec Center is a hub for student activity. With 78,000 SF of interior space, an outdoor pool, and court sports area, it has a synergistic relationship with the existing gym and P.E. Complex.

### **Building Condition**

Based on visual inspection, the gymnasium is in fair condition with several issues to be addressed in the near future - regardless of renovation or expansion.

The building envelope shows wear commensurate with its age. Issues include brick spalling, slab cracking, and flashing oxidization. There is damage to wall and ceiling paneling from unknown sources.

All mechanical, electrical, and plumbing systems appear to be at or beyond useful life and should be replaced in the near future to avoid failure.

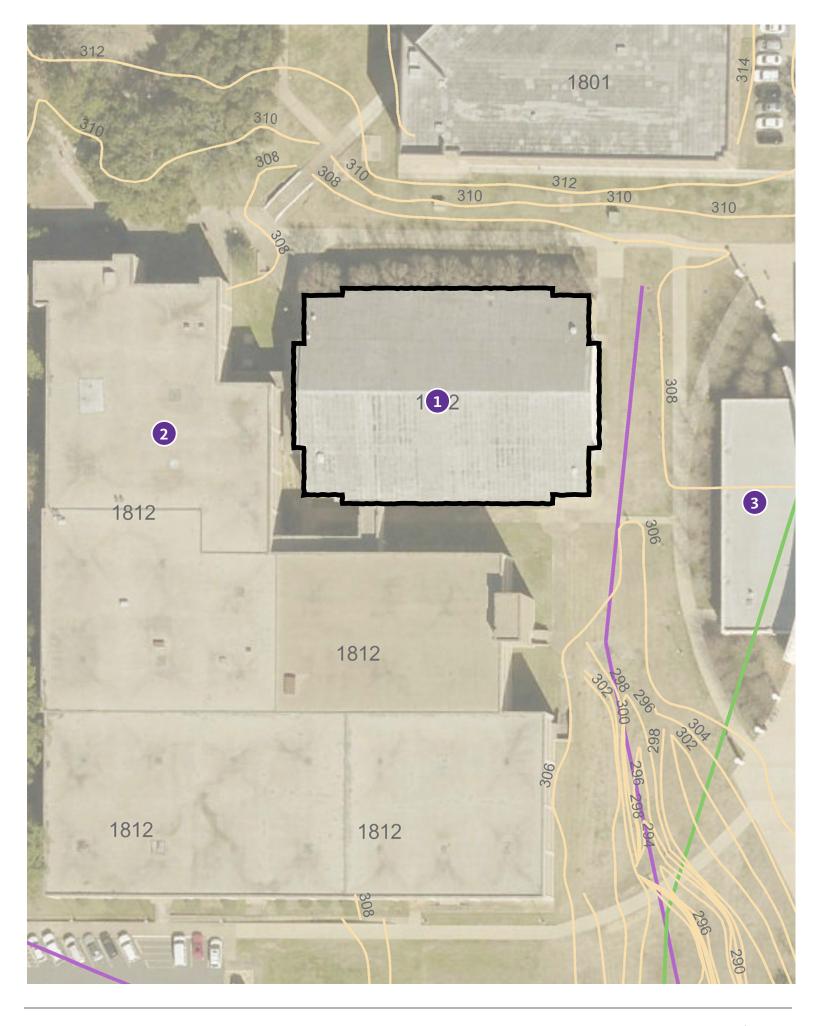
There are significant ADA compliance issues with the gymnasium due to its age. The only accessible route to the seating area is via the HPE Complex and is unmarked and circuitous. There are no designated wheelchair seats, so disabled patrons are currently accommodated courtside - which does not have a compliant access path. Player spaces and some classrooms also lack an accessible access path.

The current player amenities are not competitive with peer institutions. Locker room, meeting room, and toilet facilities are not adequate for the volleyball program. There is also no designated entry or signage announcing the volleyball program.

Public toilets are inconvenient and do not meet the requirements of current building code.

Renovation drawings dated 1972 show "corrugated asbestos wallboard". Prior to any renovation, asbestos testing should be done by a qualified abatement professional.

\*See Consultants' Support Documents for detailed information regarding MEP systems, structure and envelope, and Accessibility.



# **CONCEPTUAL PROGRAM**

The following conceptual program has been developed based upon the expressed needs of stakeholders with consideration of peer institutions and industry best practices.

	SHELTON GYM		
	Space Function	NSF	Notes
PATRON AMENITIES	Vestibule Entry Lobby/Box Office Ticketing/Box Office Operation Office Concessions Men's Restrooms Women's Restrooms Family Restroom Seating (Approx. 800) First Aid Merch.	100 SF 250 SF 160 SF 140 SF 440 SF 290 SF 465 SF 100 SF 4,200 SF 150 SF	
PAT	Total	6,395 SF	
CIRC.	Stairs (min. 2) Elevator Lobby	320 SF 200 SF 250 SF	
ū	Total	770 SF	
PLAYER AMENITIES	Locker Room (22) Team Lounge/Film Room Showers & Toilets Training Room Trainer Office	620 SF 440 SF 340 SF 480 SF 120 SF	
PLAYE	Equipment <b>Total</b>	200 SF <b>2,200 SF</b>	

Officials Lockers (2)	350 SF	
Officials Lockers (2) Officials Showers & Toilets (2) Officials Meeting Room	350 SF	
Officials Meeting Room	150 SF	
Visitor Lockers (18)	240 SF	
Visitor Lockers (18) Visitor Showers & Toilets  Total	180 SF	
> Total	1,270 SF	
Head Coach Office	200 SF	
Asst Coaches Offices (3)	360 SF	
Reception	120 SF	
₩ Work Room	150 SF	
Storage	80 SF	
Coaches Lockers 1	200 SF	
Coaches Showers & Toilets 1	150 SF	
Coaches Lockers 2	200 SF	
Work Room Storage Coaches Lockers 1 Coaches Showers & Toilets 1 Coaches Showers & Toilets 2 Total	150 SF	
Total	1,610 SF	
Locker Rooms (12)	340 SF	
Showers & Toilets	shared	
<b>Equipment</b>	120 SF	
Equipment  Ext. Showers & Toilets		
Ext. Showers & Toilets	460 SF	
Mechanical		• 30% Grossing factor on all Practice Facility spaces
Electrical		
Electrical Data/Tel Total		
ਲ Total	1,893 SF	

# PROGRAM SUMMARY

	PATRON AMENITIES	6,395 SF	Renovate Shelton to be code compliant
	CIRC.	770 SF	Volleyball Annex includes shared facilities for Indoor &
	PLAYER AMENITIES	2,200 SF	Beach
٤	VISITOR AMENITIES	1,270 SF	
9	PROGRAM FACILITIES	1,610 SF	
, S	BEACH PROGRAM	460 SF	
	SUPPORT	1,893 SF	
SH	Total	14,598 SF	

# **DESIGN APPROACH**

Based upon existing site conditions and constraints in conjunction with the expressed programmatic needs, the following is a recommended approach for achieving the established design goals.

# 1 RENOVATED SHELTON GYM

The existing gymnasium should be renovated to fix envelope and systems issues, bring the facility into current code compliance, and remedy accessibility non-compliance. The square footage currently dedicated to the volleyball program should be re-configured to provide the required space. In the future, the gym should serve as game and practice facility only.

# 2 NEW VOLLEYBALL PROGRAM ANNEX

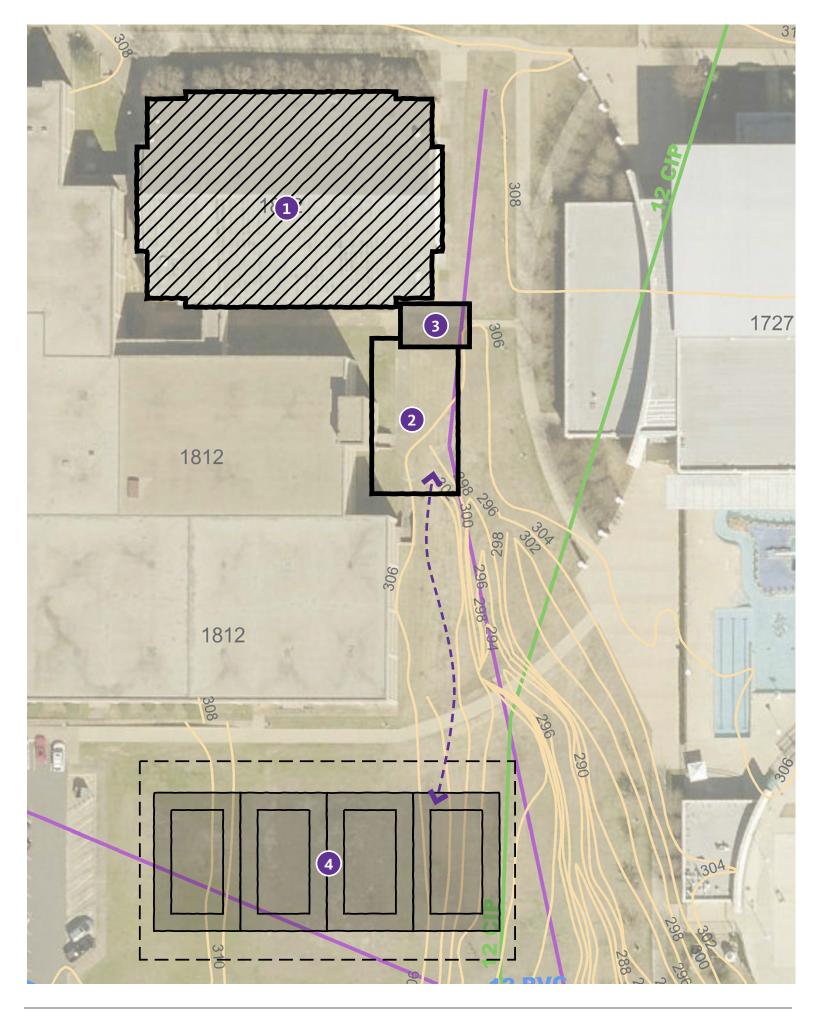
The footprint of Shelton Gym does not provide the necessary square footage to accommodate competitive indoor volleyball player facilities. This problem will be exacerbated with the addition of beach volleyball in 2019. The Design Team recommends the construction of an adjacent addition of approx. 8,200 SF to serve as home to the volleyball programs. Appropriate locker rooms, film room, and coaches spaces should be relocated to this facility.

# 3 SHARED LOBBY

Construction of a shared lobby and vertical circulation spaces serves as a "front door" for the volleyball program and provides more convenient ADA compliant access to the upper seating level of the existing gymnasium.

# 4 NEW BEACH VOLLEYBALL COURTS

With the addition of beach volleyball in 2019, court space will be required within a reasonable distance of program spaces. With the selection of an appropriate site, convenient circulation paths back to the Volleyball Annex should be established.



# SFA SOCCER FIELD

The existing soccer field is home to Ladyjack Soccer and is located adjacent to the intramural fields. Current player facilities are located off-site.

## **Building Information**

The current SFA Soccer facility consists of an unsecured but well maintained competition surface, shaded team benches, and aluminum bleachers for patrons. Major facility and site elements are as follows:

# 1 FIELD

The existing playing surface is in good condition. There is windscreened fence at each endline, a concrete slab for goal storage, covered team benches, and a basic dot matrix scoreboard. The majority of the field is located in the FEMA 100-year floodplain with a small portion of the east side in the FEMA Floodway.

# 2 FEMA FLOODWAY

The Floodway is defined as "the channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height." In other words, no construction is permitted in this area.

# 3 FEMA 100 YEAR FLOODPLAIN

The 100 Year Floodplain is defined as "the area that will be inundated by the flood event having a 1 percent chance of being equaled or exceeded in any given year." Construction in this area is typically required to be elevated out of the floodplain to above the Base Flood Elevation.

# 4 FEMA 500 YEAR FLOODPLAIN

The 500 Year Floodplain is defined as "the area that will be inundated by the flood event having a 0.2 percent chance of being equaled or exceeded in any given year." Construction in this area is typically considered lower risk and comes with fewer development restrictions than the 100 year floodplain.

# 5 ALUMINUM BLEACHERS

Patron seating consists of mobile aluminum bleachers.

# 6 ELEVATED TRANSFORMER

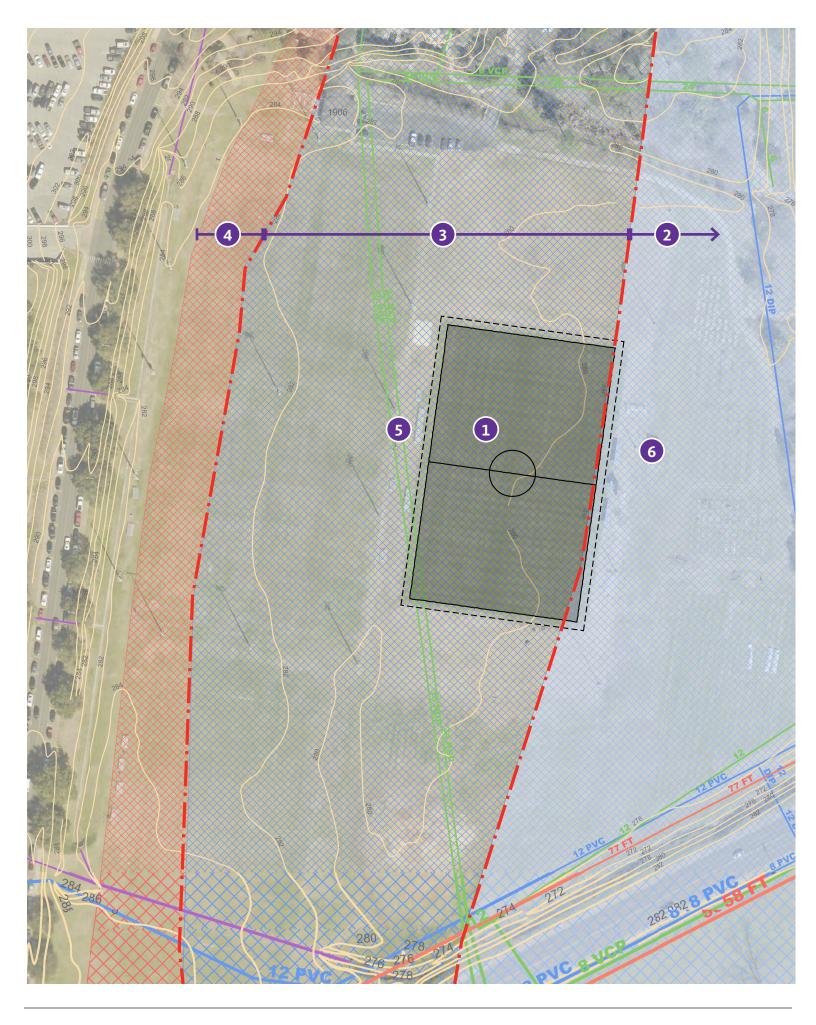
There is an elevated electrical pad adjacent to the field that protects the electrical infrastructure associated with field lighting and the scoreboard.

## **Building Condition**

The field appears to be well maintained. There are no other permanent structures or amenities.

## **Site Condition**

Parking for the facility is dispersed across several nearby locations. The field lacks direct access from parking and amenities, requiring significant circulation time for patrons and athletes.



# **CONCEPTUAL PROGRAM**

The following conceptual program has been developed based upon the expressed needs of stakeholders with consideration of peer institutions and industry best practices.

SOCCER STADIUM			
	Space Function	NSF	Notes
	Space Function	1431	Notes
	Ticketing	200 SF	
	Entry Lobby/Box Office	150 SF	
	Concessions (4 POS)	480 SF	
	Restrooms	1,200 SF	
S	Family Restroom	80 SF	
Ë	First Aid	150 SF	
Z	Elevated Decks (2)	740 SF	
A	Chairback Seating (250)	1,125 SF	
Z	Bleacher Seating (750)	2,625 SF	
PATRON AMENITIES	Student Pitch-End Seating (250)	875 SF	
ÞΑ	Total	7,625 SF	
S	Locker Room/Lounge (30)	750 SF	
▎≝╽	Showers & Toilets	600 SF	
Z	Film Room	450 SF	
¥	Training Room	450 SF	
ER/	Trainer Office	120 SF	
PLAYER AMENITIES	Boot Room	240 SF	
PL	Total	2,610 SF	
_	Lobby/Hall of Fame	200 SF	
	Head Coach Office	400 SF	
-	Asst Coaches Offices (2)	280 SF	
<	Conference Room (6)	180 SF	
SAA	Work/Break Room	180 SF	
190	Coaches Lockers 1 (5)	180 SF	
PR( ES	Coaches Showers & Toilets 1	240 SF	
ER	Coaches Lockers 2 (3)	120 SF	
SOCCER PROGRAM FACILITIES	Coaches Showers & Toilets 2	180 SF	
SO	Total	1,960 SF	

ES	Radio	180 SF
	PA/Scoreboard Ops	180 SF
	Meeting Room (Future Broadcast)	180 SF
	AV Room	180 SF
MEDIA FACILITIES	Aux. Booth	180 SF
	Storage	80 SF
	Media Toilet	120 SF
ME	Total	1,100 SF
•		
	Officials Lockers	120 SF
	Officials Toilet & Changing	100 SF
	Aux. Lockers (20)	300 SF
S	Aux. Toilets & Showers	240 SF
ALS	Aux. Coaches Room	120 SF
OFFICIALS	Aux. Coaches Shower/Toilet	100 SF
HO	Total	980 SF
	Mechanical	
	Electrical	
	Data/Tel	
	Elevator	
	Elevator Equip.	
S	Stairs	
U	Storage	
BUILDING SERVICES	Shop/Field Maint	240 SF
	Security Fence	
	Goal Storage Slab	
<u> </u>	Janitor	
5	Total	2,601 SF

# PROGRAM SUMMARY

A G	Total	16,876 SF	
CIL ER	OFFICIALS	980 SF	
FACILITY OPERATI	MEDIA FACILITIES	1,100 SF	
N N	BUILDING SERVICES	2,601 SF	Approx. 6,000 SF req'd at grade
<u>N</u>	SOCCER PROGRAM FACILITIES	1,960 SF	• End seating for 250
	PLAYER AMENITIES	2,610 SF	Bleacher seating for 750
	PATRON AMENITIES	7,625 SF	Chairback seating for 250

# **DESIGN APPROACH ONE**

Based upon existing site conditions and constraints in conjunction with the expressed programmatic needs, two possible approaches for achieving the established design goals have been developed.

# 1 EXISTING FIELD

Approach (1) allows for the continued use of the existing playing surface.

# 2 FILL-DIRT BERM

Construction in the 100 year floodplain typically requires that all occupied spaces be elevated above the base flood elevation plus an additional 1' of freeboard elevation. In this location, the total elevation required is approximately 12' above the existing grade. The dashed line represents the minimum footprint of berm required to accomplish the required elevation. The final berm could be larger or designed as a landscape feature to avoid the abrupt aesthetic of simple berming.

# 3 NEW SOCCER FACILITY

Anticipated interior space for player and patron amenities is approximately 12,000 SF. Of that area, approximately 6,000 SF requires on-grade access. Program includes locker room, boot room, coaches and media spaces, as well as public restrooms and concessions.

# 4) ON-GRADE SEATING

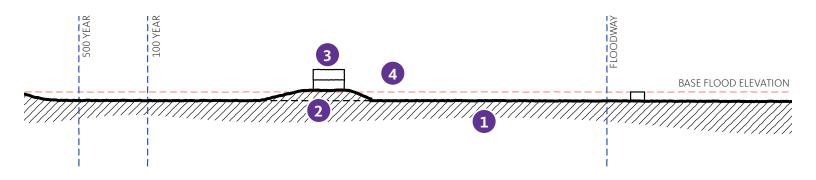
Cast in place concrete seating constructed on-grade at the berm provides permanent sideline seating for 1,000 including 250 chairbacks and 750 bleacher seats.

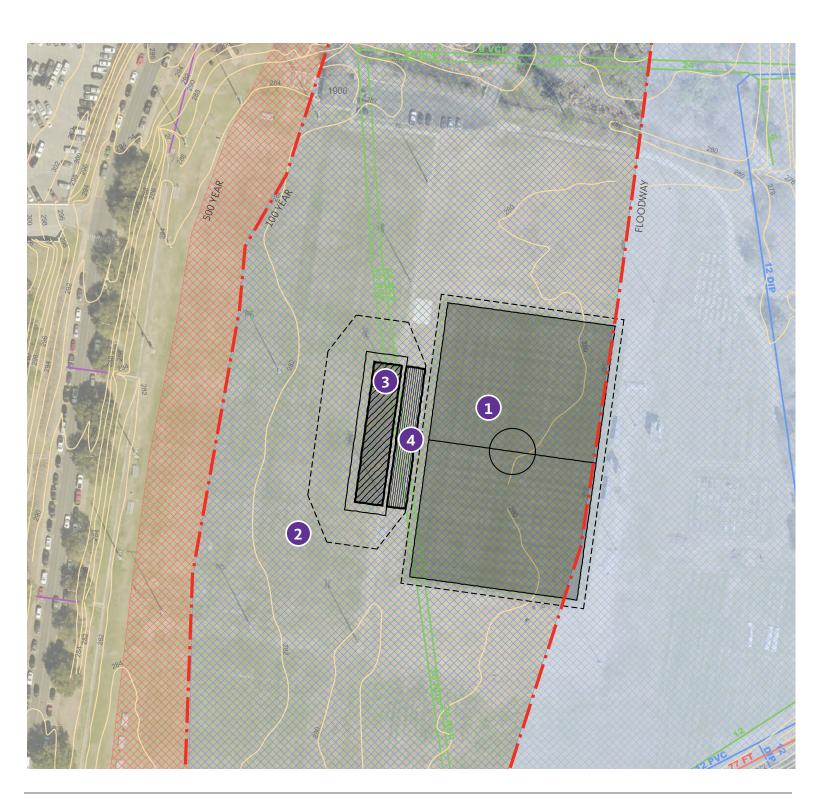
Additional seating for students at endlines could be a simple bleacher system.

## **DESIGN CONSIDERATIONS**

Although Design Approach (1) allows for the reuse of the existing playing surface, it does not address several of the issues with the current facility. Access to the venue is still circuitous and the playing surface cannot be secured due to construction restrictions in the floodway along the east sideline.

Additionally, the "city on a hill" concept creates complex vertical circulation challenges (for ADA compliance and dressedout athletes) and a limited footprint of buildable area. Any future expansion or renovation would require commensurate adjustment of the berms.





# **DESIGN APPROACH TWO**

Based upon existing site conditions and constraints in conjunction with the expressed programmatic needs, two possible approaches for achieving the established design goals have been developed.

# 1 RELOCATED FIELD

Approach (2) provides simpler access and better street presence for the venue.

# 2 500 YEAR FLOODPLAIN

Construction in the 500 year floodplain typically comes with fewer restrictions and regulations. While best practices and a hydrologic study will likely recommend the building be elevated above its current grade, construction in this zone provides flexibility in the method of acheiving this elevation.

# 3 EXISTING ADJACENT GRADE CHANGE

There is significant existing grade change along Wilson Dr. This slope can be utilized to the advantage of the facility by simplifying access and limiting the fill dirt necessary for structured berming.

# 4 NEW SOCCER FACILITY

Anticipated interior space for player and patron amenities is approximately 12,000 SF. Of that area, approximately 6,000 SF requires on-grade access. Program includes locker room, boot room, coaches and media spaces, as well as public restrooms and concessions.

# 5 NEW PERMANENT SEATING

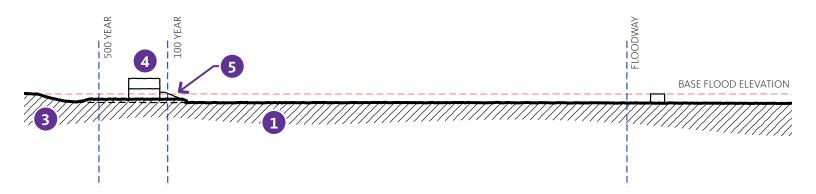
Cast in place concrete seating constructed on-grade or an elevated pre-cast plank system provide permanent sideline seating for 1,000 including 250 chairbacks and 750 bleacher seats.

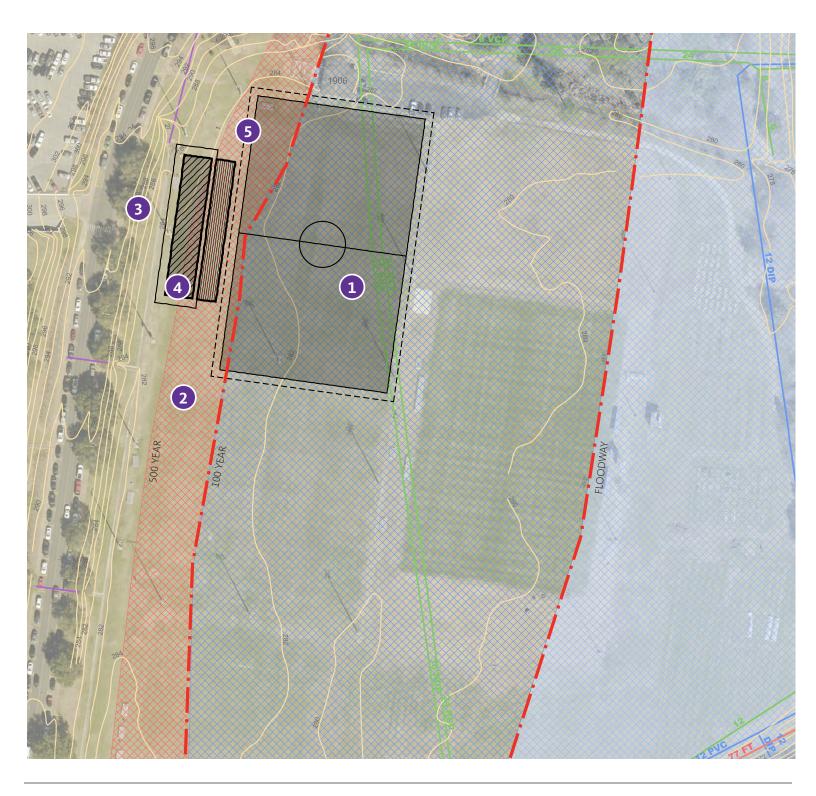
Additional seating for students at endlines could be a simple bleacher system.

## **DESIGN CONSIDERATIONS**

Design Approach (2) requires the construction of a new playing surface but provides opportunity to resolve several of the constraints of the existing site. Better access and street presence improve the venue experience for patrons and provide a sense of identity for the program. Relocation of the structure to the 500 year floodplain provides more flexibility in design and construction and locating the field in the 100 year floodplain allows the playing surface to be secured on all sides.

Approach (2) provides a superior long-term solution for the program. A comparative cost study between each approach is recommended in order to conduct an informed cost-benefit analysis.





# **CONSULTANTS' DOCUMENTS**

The following attachments contain expanded information and observation reports from Structural, Envelope, Mechanical, Electrical, Plumbing, and Accessibility Consultants.

ACCESSIBILITY CONSULTANTS Access by Design Inc. 12720 Hillcrest Road Suite 580 Dallas, Texas 75230 Tel 214 348 7758 Fax 214 348 7867 www.abyd.com

Date 16 April 2018

To Gensler

Attention Jerry Fawcett

Project Name SFASU Athletic Facilities

Project Number AbyD# 3803.01 GEN

Subject

## Notes from Site Walk, April 12, 2018

### Field House

- Ramp to field tunnel is noncompliant slope is approximately 10 to 12%, no handrails, runs exceed 30" rise with no level landings
- Public restrooms in lobby area are noncompliant

### Stadium

- Seating capacity of 14,575 requires 84 wheelchair spaces with accompanying companion seats
- Two existing platforms will hold approximately 10 wheelchair spaces and accompanying companion seats
- No dispersion of wheelchair platforms/seats (high or low)
- No assistive listening system
- Restrooms have accessible toilet stalls and lavatories (although there are come compliance issues)
- Accessible parking is provided in north VIP lot and in lot at south entrance

### Coliseum

- Seating capacity of 7,200 requires 47 wheelchair spaces with accompanying companion seats
- Two existing platforms will hold approximately 10 wheelchair spaces and accompanying companion seats, although
  one platform is currently set up for cameras/lights
- No dispersion of wheelchair platforms/seats (none near court)
- No assistive listening system, but closed captioning is provided for special ceremonies (graduation, etc.)
- Exterior ramp at north entry is mostly compliant (slope, handrails, landings) bottom landing is too short due to curb ramp (note: only accessible entry – VIP lot does not have accessible route to concourse and seating
- Ticket sales counters at north entry are not accessible
- Ramp to court from locker rooms is noncompliant with slope of approximately 13% and no handrails
- Restrooms have accessible toilet stalls and lavatories (although there are come compliance issues)
- Drinking fountains are noncompliant and are protruding objects

### Shelton Gym

- Only accessible entrance and route to the gym via elevator and series of ramps is through HPE and requires circuitous travel and knowledge of building (ramp slopes acceptable, need handrails both sides)
- Signs are not provided that clearly designate the accessible path
- Seating capacity of 600 requires 7 wheelchair spaces with accompanying companion seats
- No designated wheelchair spaces are provided within second level seating area as required (disabled patrons are currently accommodated courtside)
- The ramp to courtside accessible seats is not fully compliant
- No assistive listening system (required if audio amplification is provided during games)
- Changes in level throughout building cause many areas to be inaccessible, including locker room, training room, storage room, and some classrooms
- Restrooms have accessible toilet stalls and lavatories (although there are come compliance issues)



	<ul> <li>Drinking fountains noncompliant</li> <li>Accessible parking and route is provided in lot to the east of HPE</li> </ul>
Conios To	file
Copies To	file
Signed	Kimberly J. Goss

# Field House















# <u>Stadium</u>



















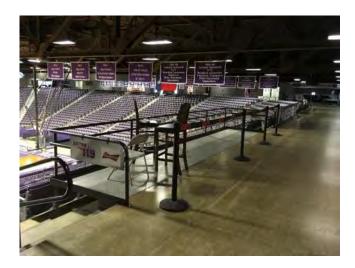


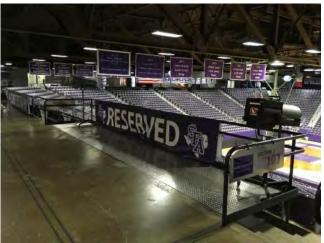






# <u>Coliseum</u>





























# **Shelton Gym**



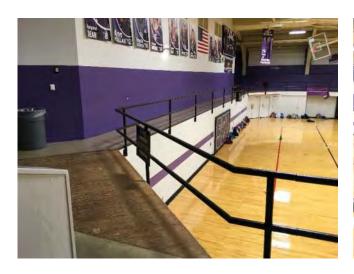


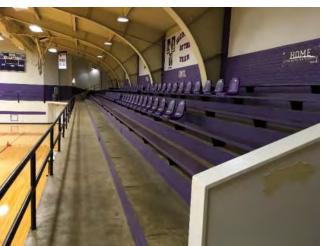














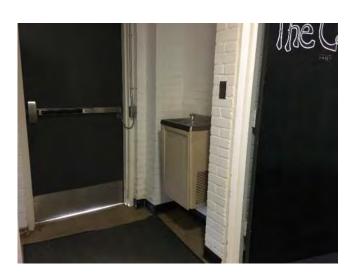














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**Mechanical-Electrical Engineers** 

Certified DBE | SBE | HUB | WBE

Kip D. Hanzlicek, P.E. Principal

April 12, 2018

**RE:** SFASU Athletic Facilities Tour/Meeting No. 2 Notes (incorporated March 21 notes too)

MEP notes from meeting and building tours with Allen, Jeff (meeting only), Cary, Kenneth (meeting only) and Greg.

## **Field House**

## Mechanical

- 1. All HVAC is RTU DX. Allen would like to run chilled and heating water from ECDC central plant approx. 900 feet away to serve all chilled water to this building and press box. BTU meters would need to be installed on chilled water supply lines to both Field House and Press Box.
- 2. Field House RTUs are at the end of their useful life and need to be replaced.

## **Electrical**

- 1. Electrical is all original and needs to be replaced.
- 2. Medium voltage (12,500 volts) runs in plenum through building in a single conduit to the transformer outside. This should be routed out around building for safety or 3-hour encased.
- 3. 400-amp service inside Field House serves adjacent sports medicine building.

## **Plumbing/Fire Protection**

- 1. East/West Exterior Public Restrooms' underground sanitary cast iron piping needs to be replaced. Wet wall urinal plumbing rough-in was replaced but wet wall water closet rough-in was not and also needs to be replaced.
- 2. Field house roof has no overflow drains for code-required second path off roof.
- 3. In the event of a future major renovation of the building or restrooms, all domestic and sanitary piping needs to be replaced throughout.
- 4. Central domestic water boilers (Lochinvar) are at the end of their life and need to be replaced.
- 5. Building is not sprinklered.

## Press Box in Football Stadium

## Mechanical

1. Roof mounted stand-alone air-cooled chiller serving Press Box has had five (5) compressors replaced. System has gone off line due to this and other conditions during game days. There is

- only one chilled water pump. If pump fails, they also lose all AC in the press box. They would like a redundant chilled water pump.
- 2. There is an unused 400-ton chiller in another central plant that could be moved to the ECDC central plant to serve Field House and Stadium Press Box. There is space for this chiller. An additional new cooling tower and 2-sided (third side could be chain link like existing) brick/CMU enclosure will need to be provided adjacent to existing cooling tower enclosure.

### Electrical

1. Electrical system is satisfactory.

## **Plumbing/Fire Protection**

- 1. Corrosion on sprinkler piping at elbows and couplings is causing pin hole leaks. Facilities team is replacing when they can. All fire protection piping needs to be replaced. They believe it is foreign manufactured piping.
- 2. All domestic water piping is copper, and they have had no issues.

## **Wellness Center**

## Mechanical

1. Two HVAC units. Both are split system DX with electric heat. Allen would also like to replace with chilled water AHUs.

### **Electrical**

1. No electrical issues discussed or observed.

## **Plumbing/Fire Protection**

1. No plumbing or fire protection issues discussed or observed.

## **Coliseum**

### Mechanical

- 1. Chillers: two Trane chillers with VFDs. Has extra capacity to support more SF.
- 2. AHUs: The AHUs above scoreboard were replaced 10 years ago and are in good condition. The AHU above NW Concession was replaced 3 years ago. Other perimeter concourse AHUs need to be replaced. Some are chilled water, some are DX. Areas air-conditioned with DX equipment (women's basketball office, Murray Shaw Room, volleyball office, etc.) needs to be replaced with new chilled water AHUs served from the central plant.
- 3. All chilled and heating water piping in building is existing and nearing end of its life. They are experiencing pin hole leaks and/or insulation barriers broken on chilled water piping throughout.
- 4. Need to replace 2-way modulating chilled water control valves with 3-way at AHUs above concourse areas to circulate chilled water due to long runs.
- 5. Bowl smoke exhaust is manual only and not connected to fire alarm system. It's used manually for concerts.

### **Electrical**

- 1. All electrical distribution has recently been replaced and there are no issues.
- 2. Fluorescent lights on court, seating and concourse burn 24/7 to give players 24/7 access. Cary would like the fixtures controlled by motion sensors that could be overridden during game days. There are key switches, but no one uses them. He said there is significant cost in putting up scaffolding to replace lamps since they burn out faster being on all the time. He would also like replaced with LED if possible.
- 3. Egress lighting needs to be added. Only egress lighting in building is around perimeter of concourse. There is no egress lighting in seating exit aisles.
- 4. Exterior pole lighting needs to be upgraded. Many dark spots. Portable light units have been used during the season.

## Plumbing

- 1. Domestic hot water electric boilers are 3 years old (Lochinvar, 240 KW, 1000-gallon storage) and have no issues.
- 2. Domestic water system is galvanized piping. The piping is internally corroding and restricting the water volume causing fixtures to hang and run all at once. When this happens, it overloads the corroded drain system causing flooding. The water and drain system needs to be completely replaced before they cause major damage to the court or locker rooms.
- 3. One corner concourse restroom wet wall is being upgraded now with new copper piping and low flow flush valves.
- 4. Building has no natural gas. If natural gas is required for enhanced concessions, natural gas is approximately 2-3 blocks away.

## **Fire Protection**

1. The building is not sprinklered. The only fire protection is dry pipe standpipes (requires fire pumper truck to provide water source) in the opposite corners of the concourse and one in the former rifle range.

## **General Construction Item**

1. Would like roll-up door replaced with insulated roll up door. Significant heat introduced through doors radiation.

## **Volleyball Facility**

## Mechanical

1. The four (4) chilled water AHUs at both ends of court are beyond their useful life and need to be replaced. Mechanical room location is problematic in installing new. Will require demolition of classroom walls.

### **Electrical**

1. Electrical distribution and panelboards are original and beyond their useful life. All equipment needs to be replaced.

## **Plumbing/Fire Protection**

- 1. Building has no domestic hot water recirculation.
- 2. Domestic water piping and sanitary piping needs to be replaced due to past pipe leaks.
- 3. HPE Building: The water system is failing from electrolysis. The locker room column showers internal piping has had multiple leaks from electrolysis. There are leaks under the building.
- 4. Building is not sprinklered. There are wet standpipes in the corridors.

END OF WRITTEN REPORT



Field House Roof: RTUs need to be replaced.



**Unused 400-Ton Chiller in Central Plant** 



Unused 400-Ton Chiller : Space to remove for Central Plant



**ECDC Central Plant: 400 ton Chiller** 



ECDC Central Plant: Space for potential relocated 400 ton Chiller



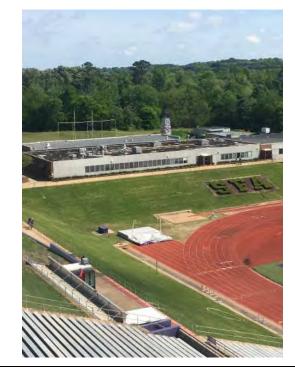
**ECDC Central Plant: Existing Cooling Tower** 



ECDC Central Plant: Expansion Space for a new Cooling Tower to support relocated Chiller



Field House grade mounted condensing units need to be replaced.



Field House: Aerial view of existing Roof Top AC Units



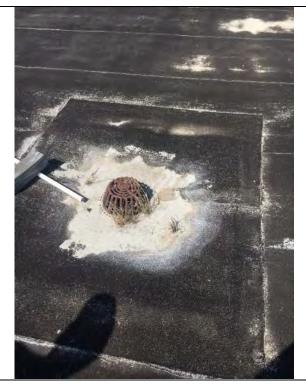
Field House Roof: No secondary roof drains installed



Field House: Domestic Water Boilers and associated piping needs to be replaced - Pict 1



Field House: Domestic water hot water piping needs to be replaced – Pict 2



Field House Roof: Gravel is all at low point and has been washed into storm piping.



Field House: Original Fused/Switch Switchgear needs to be replaced.



Field House: Original transformers need to be replaced.



Football Stadium: Air cooled chiller serving Press Box has had 5 compressors replaced.



Football Stadium: Air cooled chiller's chilled water pump. Needs redundant pump. Loss of pump shuts down AC in Press Box.



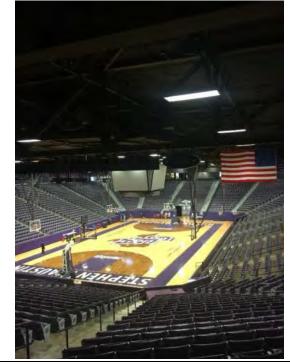
Coliseum: Chilled water piping needs to be replaced. It's original and beginning to get pin hole leaks.



Coliseum: Condensate leaks from chilled water insulation above ceiling - Pict 1



Coliseum: Condensate leaks from chilled water insulation above ceiling - Pict 2



Coliseum: All Lighting (court, bowl, concourse) is on 24/365



Coliseum: Emergency Egress lighting limited to concourse. No bowl aisle egress lighting.



Coliseum: Site Lighting Shortages - Pict 1



Coliseum: Site Lighting Shortages - Pict 2



Coliseum: Plumbing Wet Wall – Recently replaced all piping



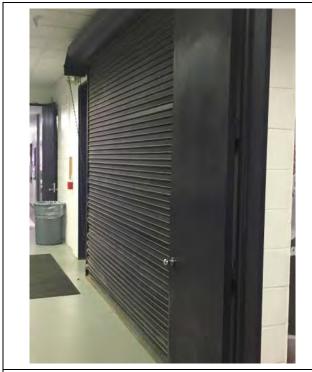
Coliseum: Plumbing Chase – Water Closet Carriers and sanitary piping needs to be replaced.



Coliseum: Galvanized domestic water piping – all needs to be replaced



Coliseum: No sprinkler system. Only 4 dry standpipes served from FDCs on building exterior



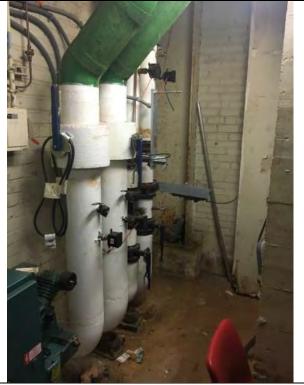
Coliseum: Uninsulated door transfers significant heat into building.



Shelton Gym - AHU

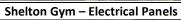


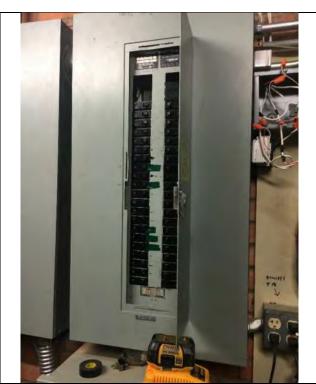
Shelton Gym – Chilled Water Pump



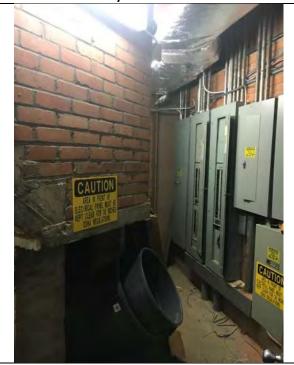
Shelton – Chilled Water







Shelton Gym – Electrical Panels



Shelton Gym – Electrical Panels



Shelton – Fixtures



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#### Memorandum

Date: 04.12.18

Project: Athletic Facilities Assessment

Stephen F. Austin State University, Nacogdoches, TX

JQ Project #: 4180062

To: Jerry R. Fawcett, AIA

From: Mark LeMay, AIA

Texas Registered Engineering Firm: 1294

CC: Jennifer Ridd, PE; Steve Lucy, PE

Subject: Observations during Site Walk

#### **Fieldhouse**

- Cracks were observed in the slab-on-grade in the Equipment Room and Laundry Room (Photographs 1 and 2)
- The top of a column at the equipment room was observed to be unbraced (Photographs 3 and 4)
- JQ was not able to observe the top condition of the other columns due to heavy equipment impeding observations
- Steel tube columns support wide flange beams and open web steel joists; no issues observed
- Roof structure consists of open web steel joists spanning in the north-south direction supporting metal decking with rigid insulation and a modified bitumen roof membrane
- Modified bitumen roof membrane has granule loss, and bolts in flashing are oxidized (Photograph 5)
- West, north and east exterior walls consist of metal studs, gypsum sheathing and brick veneer with vertical control joints; south side has metal panel and glass exterior
- No significant issues observed at exterior elevations
- Summary: The Fieldhouse is in serviceable condition with no major structural or exterior building envelope deficiencies.

#### Fieldhouse - 1988 Addition

- Addition is two-story attached to the east end of the original building
- Ground level is a reinforced concrete structure supporting a steel superstructure

- Exterior walls consist of metal studs, gypsum sheathing and a combination of brick veneer and metal panels and glass set into mill-finished aluminum storefront framing
- Cracks were observed in the slab of the lower level of the addition (Photograph 6)
- Cracks were also observed at the wall adjacent to the corridor of the original Field House (Photograph 7)
- Steel joists spanning in the east-west direction support the standing seam metal roof deck
- Deterioration was observed at roof structure where standing seam metal roof adjoins the metal coping (Photograph 8); corrosion observed on metal coping, on a few areas of the metal roof, on metal deck covering the exterior walkway, and at gutter brackets (Photograph 8)
- Deterioration was observed at all exterior sealant joints, including where the brick wall of the Field House addition adjoins to the original Field House (Photograph 9)
- A crack was observed in the concrete beneath the windows at the south elevation (Photograph 10)
- No other significant issues were discovered at exterior elevations
- Summary: The 1988 Addition to the Fieldhouse is in serviceable condition with no major structural or building envelope deficiencies.

#### **Sports Medicine and Athletic Facility**

- Single story building consisting of a Rehab Area and an Academic Suite separated by a non-load bearing wall
- Superstructure consists of wide flange steel columns supporting wide flange steel beams, open web steel joists and a standing seam, single slope metal roof; no issues observed at superstructure
- Exterior walls consist of metal studs, gypsum sheathing and brick veneer, with sections of millfinished aluminum storefront windows
- No significant issues observed at concrete slab-on-grade
- Cracking was observed at the walls of the crawl space area beneath the hot tubs (Photograph 11)
- No significant issues observed at standing seam metal roof
- Deterioration of joint sealant was observed at some locations, including where exterior brick veneer adjoins concrete site paving (Photograph 12)
- Summary: The Sports Medicine and Athletic Facility is in serviceable condition with no major structural or building envelope deficiencies.

#### **Football Stadium**

- Grandstands on the east and west sides of the field consist of reinforced concrete treads and risers constructed on a sloped berm
- A concrete walkway bisects the stands; control joints not observed; numerous, regularly spaced cracks in walkway
- Surface water from upper grandstands exits through holes and channel recesses in retaining wall into gutter at base of wall; water ponds on walkway
- Cracks were observed in the concrete steps of the grandstands (Photograph 13)
- Cracking was observed at walls of walkway with a few of the cracks exhibiting leaks (Photographs 14 and 15)
- Metal plates have been installed at sections of the walkway with significant cracks/spalls (Photograph 16)

- Evidence of moisture was observed on the retaining back wall of the concession stands that flank each side of the grandstands (Photograph 17)
- Press Box structure consists of steel tube columns supporting wide flange steel beams spanning north-south and steel joists spanning east-west supporting metal deck and concrete at each level of the press box; no issues observed
- The back and sides of the Press Box consist of metal panels, and a center section of brick veneer
- The modified bitumen roof of the Press Box was observed to be in fair condition, with areas of significant granule loss (Photograph 18)
- The interior surfaces of the parapet walls are faced with ribbed metal panels; portions of the foam closure material under metal coping was observed to be dislodged (Photograph 19)
- Standing water was observed at the roof of the press box underneath the roof top unit (Photograph 20)
- Summary: The Stadium Grandstands are in fair condition and in need of several repairs to prevent further deterioration, and to prolong the life of the structures. The roof of the Stadium Press Box will need to be replaced within 2-4 years.

#### **Basketball Coliseum**

- Cruciform steel columns were observed to be in good condition
- Large trusses and intermediate bar joists span the roof of the building in the east-west direction and steel joists span in the north-south direction; no issues observed
- No issues observed with the supplemental steel framing located around the scoreboard
- The concourses and the treads and risers consist of reinforced concrete slabs-on-grade; control joints were not observed
- Prevalent cracking was observed in the concrete slabs-on-grade, particularly at the coliseum seating at the corners of the coliseum (Photographs 21 and 22)
- Prevalent cracking was also observed in the slabs at the concourse level of the coliseum; a few locations exhibited cracks that were the width of a penny (Photographs 23 and 24)
- Minor cracking was observed at a control joint at the interior side of the perimeter concrete masonry units walls; this is not a structural issue as the control joint is performing as intended (Photograph 25)
- JQ was unable to access the roof of the coliseum
- The exterior walls consist of brick veneer with concrete masonry unit (CMU) back-up walls;
- The upper portion of the exterior walls consist of vertical metal panels equal in height to the interior steel trusses
- No issues were observed at the exterior walls
- Summary: The Basketball Coliseum is in serviceable condition with no major structural or exterior building envelope deficiencies.

#### **Shelton Gym**

- Old-style pre-engineering metal building with radiused steel bent members
- Purlins support bulb-tee roof system; composition of roof is built-up roof over 14" rigid insulation
- Exterior perimeter is brick masonry (common Flemish bond pattern with bond course every 6<sup>th</sup> row) and metal panels; existing 1' masonry wall on lower level
- Corrugated asbestos cement wallboard between copper gravel guard and brick sill at all 4 elevations according to drawings

- Mezzanine built with brick walls
- No significant issues were observed at the slab of the gymnasium
- Cracks were observed in the elevated sections of concrete at the wood bench seating level of the gymnasium (Photographs 26 and 27)
- Minor cracks were also observed at the slab-on-grade at the doorway of the building exterior (Photograph 28)
- No issues were observed at columns or load-bearing walls of structure
- No issues were observed at bulb-tee roof joists that span the gymnasium
- One section of ceiling panel was observed to be damaged (Photograph 29); the cause of the damage is unknown
- No issues were observed at the beams supporting the elevated seating
- Holes were observed at the exterior eaves where the downspouts are located (Photograph 30)
- A hole in the corrugated asbestos cement board was observed at the exterior north elevation of the gymnasium (Photograph 31)
- Exterior flashing was observed to be oxidized (Photograph 32)
- Spalled brick was observed at the bottom corner of an addition to the west elevation of the gymnasium (Photograph 33)
- Summary: Shelton Gym is in fair condition and in need of several repairs.

#### **Wellness Center**

- Wellness Center is a pre-engineered metal building with an exterior brick veneer
- Gabled roof structure is assumed to be ribbed metal panels with exterior gutters and downspouts
- Slab of Wellness Center is concealed by rubber flooring; no issues detected
- No issues observed at the tapered bent steel columns
- No issues observed at the steel beams and joists that span the roof of the building
- Control joints at exterior brick veneer were observed to be in a deteriorated condition (Photograph 34)
- Summary: The Wellness center is in serviceable condition with no major structural or exterior building envelope deficiencies.



**Photograph 1** – Cracking at slab on grade in Field House laundry room



Photograph 2 – Cracking at slab on grade in Field House equipment room



Photograph 3 – Unbraced top of column in equipment room



Photograph 4 – Unbraced top of column in equipment room



Photograph 5 – Modified bitumen membrane on Field House roof



Photograph 6 – Cracking at slab on grade at lower level of Field House addition



Photograph 7 – Cracking at the interior wall of the Field House addition



Photograph 8 – Deterioration where metal seam roof is adjoined to coping flashing



Photograph 9 – Deterioration at sealant joint between Field House addition and original Field House



Photograph 10 – Leak at crack at south exterior elevation



Photograph 11 – Cracking at crawl space beneath hot tub area



Photograph 12 – Deterioration of joint sealant at intersection of brick veneer with site paving



Photograph 13 – Typical cracks at grandstand treads and risers



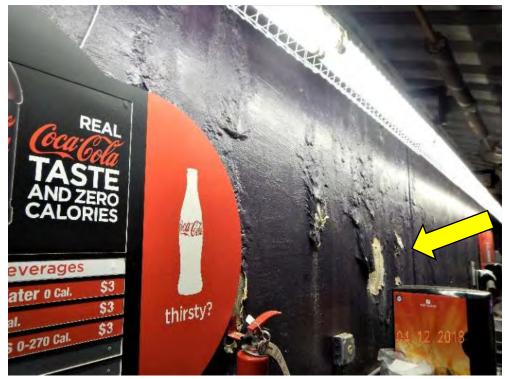
Photograph 14 – Cracks at walkway wall



Photograph 15 – Leaks at cracks in walkway retaining wall



**Photograph 16** – Leaks at cracks in walkway retaining wall and steel plate over crack/spall in walkway



Photograph 17 – Leaks at concession stand retaining wall



**Photograph 18** – Overall view of Press Box roof; note granule loss



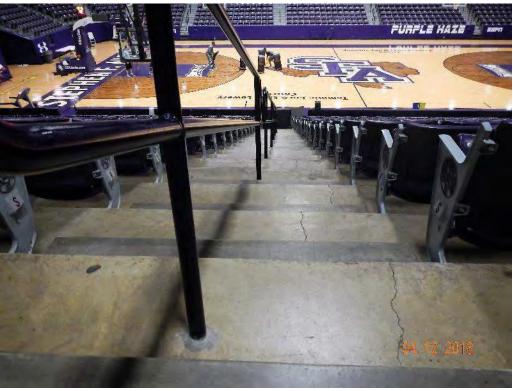
Photograph 19 – Detached foam closure material at metal coping



**Photograph 20** – Standing water underneath roof top unit at press box



Photograph 21 – Cracking at the coliseum seating



**Photograph 22** – Cracking at the coliseum seating



**Photograph 23** – Cracking at slab of coliseum concourse level



**Photograph 24** – Cracking at slab of coliseum concourse level



**Photograph 25** – Cracking at control joint at perimeter wall of coliseum



**Photograph 26** – Cracking at concrete at gymnasium seating level



Photograph 27 – Cracking at concrete at gymnasium seating level



**Photograph 28** – Cracking at gymnasium exterior slab-on-grade



Photograph 29 – Damaged ceiling panel



**Photograph 30** – Hole at exterior south elevation of eave at gymnasium



Photograph 31 – Hole at gymnasium exterior corrugated asbestos cement board



**Photograph 32** – Oxidized flashing at gymnasium exterior north elevation



**Photograph 33** – Spall at bottom corner of gymnasium addition



Photograph 34 – Control joint at Wellness Center exterior veneer in deteriorated condition



# TABLE OF CONTENTS

SITE IDENTIFICATION

02

WILLIAM R. JOHNSON COLISEUM

03

FIELDHOUSE

04

## SITE IDENTIFICATION

The Conceptual Plan Design and Estimating process has been broken down into three distinct facility components. Each component represents a definable set of User Groups including Student-Athletes, Coaches, Staff, Administrators, and Patrons.

### 01 WILLIAM R. JOHNSON COLISEUM

- MEN'S AND WOMEN'S BASKETBALL
- VOLLEYBALL
- GAMEDAY PATRONS
- OTHER EVENT PATRONS

#### 02 FIELDHOUSE

- FOOTBALL
- TRACK AND FIELD
- SOCCER
- EQUIPMENT
- SPORTS MEDICINE
- STRENGTH AND CONDITIONING
- ACADEMIC CENTER

#### 03 **HOMER BRYCE STADIUM**

- FOOTBALL
- TRACK AND FIELD
- GAMEDAY PATRONS
- GENERAL PUBLIC.

#### **APPROACH**

Based upon the Conceptual Programs developed in Phase One and feedback from stakeholders, a set of plan diagrams have been developed with supporting descriptive narratives for structural, mechanical, electrical, and plumbing disciplines.

These documents have been reviewed by a third-party cost estimation firm who has develped a conceptual schedule of probable cost for each project.



# W.R. JOHNSON COLISEUM

The expanded and renovated Coliseum is divided into eight (8) key components as well as deferred maintanence remedies. These projects include a new basketball practice facility, new concourse amenities, premium product options, renovated visitor and support facilities, athletics administration offices, and seating bowl remediation to address code compliance issues.

Stephen F. Austin State University Gensler Dallas SD Estimate - Coliseum Renovation & Addition September 5, 2018

#### SUMMARY

	Phase	(	Component 1	Component 2	Component 3	C	Component 4	Component 5	Component 6	Component 7	Component 8	Differed
											<b>Bowl Remediation</b>	Maintenance
	Area		39,296	5,300	13,300		24,460	12,042	17,994	9,340		
01	General Requirements	\$	247,766				238,360		. ,			
02	Existing Conditions	\$	69,790		· , , , , , , , , , , , , , , , , , , ,		50,000					•
03	Concrete	\$	1,912,153	·	,		622,509		,		* -,	•
04	Masonry	\$	247,917		\$ 212,992		161,124		· · · · · · · · · · · · · · · · · · ·	•	'	\$ -
05	Metals	\$	1,288,729		. ,		805,751					•
06	Wood, Plastics and Composites	\$	673,684				100,305					•
07	Thermal and Moisture Protection	\$	583,310				343,781				. ,	
08	Doors and Windows	\$	1,378,410				422,750					\$ -
09	Finishes	\$	1,229,898		. ,		632,018	· · · · · · · · · · · · · · · · · · ·			· · · · · · · · · · · · · · · · · · ·	•
10	Specialties	\$	520,568				52,808		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·		•
11	Equipment	\$	210,600		\$ -		-	•	\$ -	\$ -	•	\$ -
12	Furnishings	\$	500,000	•	\$ -	\$	250,000	•	,	\$ -	•	\$ -
13	Special Construction	\$		\$ -	\$ -		- 00.000	•	\$ -	\$ -	•	\$ -
14	Conveying	\$	90,000	· · · · · · · · · · · · · · · · · · ·			90,000	-	\$ -	\$ 110,000	•	\$ -
21	Fire Suppression	\$	137,536		. ,		85,610					•
22	Plumbing	\$	677,932	·			454,074	· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·	·	\$ 925,000
23	HVAC Electrical	\$ \$	1,395,176 1,440,198	· /			782,720 890,344					· · · · · · · · · · · · · · · · · · ·
				· · · · · · · · · · · · · · · · · · ·					. ,			<u> </u>
27	Communications	\$	494,016 275,072		· , , , , , , , , , , , , , , , , , , ,		269,060	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·			\$ - \$ -
28	Electronic Safety and Security	\$					171,220					•
31	Earthwork	\$	480,761		-,		156,470	•	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	•	\$ -
32	Exterior Improvements	\$	221,060	•		\$	- 440,000,00		\$ -	<u> </u>	•	\$ -
33	Utilities	\$	406,100	\$ -	\$ 206,200.00	\$	140,600.00	\$ -	\$ 140,600	\$ 140,600	\$ -	\$ -
	Subtotal	\$	14,480,677	\$ 1,212,782	\$ 4,091,071	\$	6,719,504	\$ 2,126,977	\$ 5,310,155	\$ 3,736,874	\$ 3,034,171	\$ 1,659,300
	General Conditions	8.0% \$	1,158,454	\$ 97,023	\$ 327,286	\$	537,560	\$ 170,158	\$ 424,812	\$ 298,950	\$ 242,734	\$ 132,744
	Subtotal	\$	15,639,131	\$ 1,309,805	\$ 4,418,357	\$	7,257,064	\$ 2,297,135	\$ 5,734,968	\$ 4,035,824	\$ 3,276,905	\$ 1,792,044
	General Contractor Fee/Bond	4.0% \$	625,565	\$ 52,392	\$ 176,734	\$	290,283	\$ 91,885	\$ 229,399	\$ 161,433	\$ 131,076	\$ 71,68
	Subtotal	\$	16,264,696	\$ 1,362,197	\$ 4,595,091	\$	7,547,346	\$ 2,389,020	\$ 5,964,366	\$ 4,197,257	\$ 3,407,981	\$ 1,863,72
	Contingency	15.0% \$	2,439,704		•		1,132,102					
	Subtotal	\$	18,704,401	\$ 1,566,527	\$ 5,284,355	\$	8,679,448	\$ 2,747,373	\$ 6,859,021	\$ 4,826,845	\$ 3,919,178	\$ 2,143,28
	Escalation Aug 2019	4.0% \$	748,176				347,178		. ,			. ,
	TOTAL CONSTR	JCTION \$	19,452,577	\$ 1,629,188	\$ 5,495,729	\$	9,026,626	\$ 2,857,268	\$ 7,133,382	\$ 5,019,919	\$ 4,075,945	\$ 2,229,016

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Project Cost Resources, Inc.

#### Stephen F. Austin State University

Gensler Dallas SD Estimate - Coliseum Renovation & Addition September 5, 2018 

 Event Level
 23,400
 sf

 Concourse Level
 15,000
 sf

 Tunnel
 896
 sf

 39,296
 sf

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	SUBTOTAL	 TOTAL
IVISION 01 - GENERAL REQUIREMENTS	10	mos						
Commissioning Coordination	43	wk	\$	2,500.00	\$	108,250		
Cleanup - Periodic	10	mo	\$	2,400.00		24,000		
Cleanup - Final Clean Interior/Glass	39,296	sf	\$	0.45		17,683		
Street Clean/Dumpster	43	wk	\$	500.00		21,650		
Allow for Mock-Ups	1	ls	\$	15,000.00		15,000		
BIM Coordination	1	ls	\$	30,000.00		30,000		
Testing	1	allow	\$	-	Ψ	BY OWNER		
Safety Meetings/Materials	10	mo	\$	1,100.00	\$	11,000		
Project Signage	10	ls	φ \$	2,500.00		2,500		
	·	sf	\$ \$	2,500.00				
Layout	39,296	SI		ototal	ð	17,683	\$ 247,766	
			TO	TAL DIVISION (	)1			\$ 247,766
VISION 02 - EXISTING CONDITIONS								
Demo / Excavate Seating Bowl Area	1,655	sf	\$	18.00	\$	29,790		
General Demolition	1	ls	\$	40,000.00		40,000		
				ototal	<u> </u>	,,,,,	\$ 69,790	
			TO	TAL DIVISION (	)2			\$ 69,790
VISION 03 - CONCRETE								
Drilled Piers								
Piers - 30/60 x 20' Deep	103	ea	\$	8,170.00	\$	843,471		
Pier Casing	2,065	lf	\$	45.00	\$	92,916		
Haul Spoils	508	су	\$	10.00	\$	5,080	<b>*</b> 044.467	
			Suc	itotai			\$ 941,467	
Grade Beams								
Perimeter Grade Beams - 18" x 30"	826	lf	\$	80.00	\$	66,080		
Grade Beam Void Forms	826	lf	\$	8.00	\$	6,608		
Grade Beam Soil Retainers	1,652	lf	\$	8.50	\$	14,042	¢ 96.720	
			Suc	total			\$ 86,730	
Slabs 5" Slab on Grade	15,000	sf	\$	6.50	¢	97,500		
12" Tunnel Mat Slab	896	sf	ψ	14.00		12,544		
12 Tullilet Mat Olab	090	31	Sub	ototal	φ		\$ 110,044	
Elevated Concrete								
Concrete Fill on Composite Deck (SEE DIV 05 for DECK)	15,000	cf	¢	4.75	φ	71,250		
Tunnel Walls - 14"	2,240	sf sf	\$ \$	4.75 35.00		71,250 78,400		
Tunnel Lid - 12"	896	sf	\$ \$	26.00		78,400 23,296		
Tulliei Liu - 12	090	31		ototal	\$	23,290	\$ 172,946	
Miscellaneous Concrete								
Elevator Pits	1	ea	\$	8,500.00	\$	8,500		
	7.704							
Permanent Soil Retention System	7,731	sf	\$	45.00	\$	347,895		

## Stephen F. Austin State University

Gensler Dallas SD Estimate - Coliseum Renovation & Addition September 5, 2018 
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DESCRIPTION	QTY	UNIT	UNIT	COST	Е	XTENSION	SI	JBTOTAL		TOTAL
Wall Footing	485	lf	\$	45.00	\$	21,824				
Misc Concrete	39,296	sf	\$	0.75		29,472				
Wild Colloids	00,200	01	Subtota		Ψ	20,412	\$	600,966		
			TOTAL	DIVISION (	03				\$	1,912,15
DIVISION 04 - MASONRY										
Face Brick	3,760	sf	\$	26.00	\$	97,760				
CMU Stair / Elevator Towers	5,952	sf	\$	20.00	\$	119,040				
Scaffolding	11,968	sf	\$ Subtota	2.60	\$	31,117	\$	247,917		
							φ	241,511		
			TOTAL	DIVISION	04				\$	247,917
DIVISION 05 - METALS										
Stairs & Metal Railings										
Interior Stairs - Egress	105		\$	950.00		99,750				
Interior Stairs - Monumental	35	risers	\$	1,200.00	\$	42,000				
			Subtota	ıl			\$	141,750		
Structural										
Steel Framing at 8.5 psf	167	ton	\$	4,100	\$	684,733				
Composite Steel Deck	15,000	sf	\$	5.25	\$	78,750				
Shear Studs	375	ea	\$	12.00	\$	4,500				
Hoisting	3	mos	\$	45,000	\$	135,000				
Roof Deck	23,400	sf	\$ Subtota	3.50	\$	81,900	\$	984,883	•	
			Subtota	ll.			Þ	904,003		
Miscellaneous			_		_					
Miscellaneous Steel at 1.5 psf	29	ton	\$ Subtota	5,500 nl	\$	162,096	\$	162,096	•	
							*	.02,000		4 000 -0
			TOTAL	DIVISION	05				\$	1,288,729
DIVISION 06 - WOOD AND PLASTICS										
Millwork	40		œ.	1 500 00	¢.	27.000				
Custom Locker - Coaches	18	ea	\$	1,500.00		27,000				
Counter	58	lf	\$	175.00		10,150				
Plam Lockers W/Lock 12L" X 12D" X 18H" Note 6	36	ea	\$	325.00		11,700				
Note 5 Extensive Plam Millwork and Work Surface	2	ea	\$	5,000.00		10,000				
Unidentified Millwork. Type	49	lf 'r	\$	300.00		14,700				
Custom Millwork at Nutrition Center	22	lf 	\$	350.00		7,700				
Desk	8	lf	\$	450.00		3,600				
Allowance For Significant Millwork Per Note 7	1	ea	\$	5,000.00		5,000				
Custom Millwork Locker @\$5,500 EA. Per Note 18	36	ea	\$	5,500.00		198,000				
Desk	14	lf	\$	450.00		6,300				
	0.4	lf	<b>ሰ</b>	300.00	\$	7,200				
Unknown	24		\$							
Unknown Possible Upper & Lower Base Cabinet Millwork - Allow Not Shown	31 39,296	lf sf	\$ \$ \$	450.00 1.00	\$	13,950 39,296				

#### Stephen F. Austin State University

Gensler Dallas SD Estimate - Coliseum Renovation & Addition September 5, 2018 

 Event Level
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DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	SUBTOTAL			TOTAL
Rough Carpentry/Blocking										
48" Deep Glulam Framing	544	lf	\$	260.00	\$	141,440				
30" Deep Glulam Framing	736	lf	\$	162.50	\$	119,600				
Shipping Premium	1	ls	\$	15,000.00	\$	15,000				
Glulam Beam-to-Column Connections	36	ea	\$	650.00	\$	23,400				
Rough Carpentry / Blocking	39,296	sf	\$	0.50	\$	19,648				
			Sub	total			\$	319,088		
			тот	TAL DIVISION (	)6				\$	673,684
DIVISION 07 - THERMAL & MOISTURE PROTECTION										
Insulation/Waterproofing										
Insulation/Weather Proofing at Exterior Skin	6,016	sf	\$	6.00	\$	36,096				
Waterproof Subgrade Walls	9,971	sf	\$	7.50	\$	74,783	•	440.070		
			Suc	total			\$	110,879		
Roofing					_					
Modified Bitumen Roofing	23,400	sf	\$ Sub	13.00 ototal	\$	304,200	\$	304,200		
			Ouk	iotai			Ψ	304,200		
Metal	0.050		•	05.00	•	70.000				
Exterior Metal Panels	2,256	sf	\$	35.00	\$	78,960				
Louvers	150	sf	\$	45.00 ototal	\$	6,750	\$	85,710		
			Juk	iotai			Ψ	03,710		
Caulking and Sealants					_					
Caulking and Sealants	39,296	sf	\$ Sub	2.10 ototal	\$	82,522	\$	82,522	•	
				TAL DIVISION (	17			•	\$	583,310
			.0	TAL DIVIDION					۳	000,010
DIVISION 08 - DOORS AND GLAZING Glass and Glazing										
Curtainwall	8,522	sf	\$	95.00	¢	809,590				
Exterior Storefront	1,504	sf	\$	65.00		97,760				
	1,001	٥.		total	Ψ	37,700	\$	907,350	•	
Exterior Doors										
Double Glass Entry Doors	10	pr	\$	6,500.00	\$	65,000				
Double Hollow Metal Exterior Doors	1	pr	\$	2,800.00		2,800				
		r		total		,	\$	67,800	•	
Interior Doors and Frames										
Stair Single	8	ea	\$	2,120	\$	16,960				
Glass Double	17	ea	\$	4,500		76,500				
Corridor Double	6	ea	\$	4,500		27,000				
Office Single Glass	15	ea	\$	2,500		37,500				
Film Single	4	ea	\$	1,850	\$	7,400				
Bathroom Single	7	Ju	¥	1,850	Ψ	7,700				

Stephen F. Austin State University Gensler Dallas

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

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 23,400
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 sf

 39,296
 sf

DESCRIPTION	QTY	UNIT		UNIT COST	I	EXTENSION	S	UBTOTAL	TOTAL
Mech/ Elec/Storage Single	6	ea	\$	1,850	\$	11,100			
Locker Room Single	5	ea	\$	1,850	\$	9,250			
Practice Gym Double	4	ea	\$	2,110		8,440			
Laundry Double	1	ea	\$	2,110		2,110			
Locker Room Double	1	ea	\$	2,110		2,110			
Roof Access	1	ea	\$	3,500		3,500			
Allow for Access Doors	1	ls	\$	1,500.00		1,500			
, wow let / loodes boots	·	10		ıbtotal	Ψ	1,000	\$	207,060	
Interior Glazing									
Alum Frame Store Front	4,360	sf	\$	45.00	\$	196,200.00			
Interior Glass	-	lf	\$	480.00	\$	-			
			Sı	ıbtotal			\$	196,200	
			TC	OTAL DIVISION	08				\$ 1,378,4
ION 09 - FINISHES									
Partitions									
Office Min STC 50	480	lf	\$	130.00		62,400			
High Impact Corridor	323	lf	\$	130.00		41,990			
Mech/Elect /Storage	176	lf	\$	115.00		20,240			
Chase	40	lf	\$	140.00		5,600			
Bathroom Chase	78	lf	\$	140.00		10,920			
Bathroom Surround	338	lf	\$	115.00		38,870			
High Impact	384	lf	\$	130.00	\$	49,920			
Stairs	201	lf	\$	140.00		28,140			
Elevator	80	lf	\$	140.00		11,200			
Locker Room	144	lf	\$	125.00		18,000			
Furr Out	26	lf	\$	90.00		2,340			
Bathroom Wing	21	lf	\$	115.00		2,415			
Concrete Furr Out	42	lf	\$	90.00		3,780			
Solid Wall Backup - Studs & Sheathing	11,968	sf	\$ Si	8.00	\$	95,744	\$	391,559	
Callings			-				•	001,000	
Ceilings Premium Lay In Ceiling	1,500	sf	\$	6.00	\$	9,000			
Open to Structure (paint)	14,980	sf	\$	1.00		14,980			
Lay-In Ceiling	14,160	sf		4.50		63,720			
Plaster	2,335	si	\$ \$	12.00	Ф \$	28,020			
Custom Metal Lay-In	3,350	si	Ф \$	30.00		100,500			
Gypsum  Gypsum	3,350	sf	\$ \$	8.00		1,280			
Gypsum	100	SI	_	ıbtotal	Ф	1,200	\$	217,500	
Paint / Wall Covering									
Paint Doors	1	ls	\$	5,175.00	\$	5,175			
Paint Frames	1	ls	\$	3,105.00		3,105			
Paint Walls	34,110	sf	\$	1.25	\$	42,638			
Paint CMU	49,525	sf	\$	1.50	\$	74,288			
Plaster	728	sf	\$	12.00		8,736			

Gensler Dallas SD Estimate - Coliseum Renovation & Addition September 5, 2018 

 Event Level
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 sf

 Tunnel
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 sf

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 sf

#### **ESTIMATE DETAIL - BASKETBALL FACILITY**

DESCRIPTION	QTY	UNIT	UN	IT COST	E)	KTENSION	S	UBTOTAL	T	OTA
Tile	5,184	sf	\$	10.00	\$	51,840				
Misc Painting	39,296	sf	\$ \$	0.50		19,648				
wise raining	J3,Z30	51	Subto		Ψ	13,048	\$	205,429		
							•	_00,0		
Flooring										
Flooring - Terrazzo	1,890	sf	\$	20.00		37,800				
Flooring - Carpet	13,180	sf	\$	5.00	\$	65,900				
Flooring - Wood at Gym	11,130	sf	\$	16.00	\$	178,080				
Flooring - Sealed Concrete	3,850	sf	\$	2.00	\$	7,700				
Flooring - VCT	580	sf	\$	3.50	\$	2,030				
Flooring - Tile Ceramic	2,000	sf	\$	12.00	\$	24,000				
Flooring - Tile Slip Resistant	500	sf	\$	13.00	\$	6,500				
Flooring - Rubber Athletic	3,380	sf	\$	21.00	\$	70,980	moi	ndo		
Base - Rubber	4,250	lf	\$	2.00	\$	8,500				
Base - Athletic Floors/Other	830	lf	\$	4.00	\$	3,320				
Base - Tile	740	lf	\$	10.00	\$	7,400				
Base - Terrazzo	200	lf	\$	16.00	\$	3,200				
			Subto	tal			\$	415,410		
			TOTAL	L DIVISION (	)9				\$	1,22
N 10 - SPECIALTIES Signage										
Branding	39,296	sf	\$	10.00	\$	392,960				
Room and Directional Signage	39,296	allow		0.40		15,718				
Room and Directional Signage	39,290	allow	Subto		Ψ	15,710	\$	408,678		
Tailet Assassaries										
Toilet Accessories  ADA Ceiling Hung SS Partition	4	ea	\$	1,450	¢	5,800				
Standard Ceiling Hung SS Partition	8		\$	1,260	\$	10,080				
		ea								
Paper Towel Dispenser W/ Trash Receptacle	6	ea	\$	275.00	\$	1,650				
Grab Bar Set	6	ea	\$	255.00	\$	1,530				
Mirror	26	lf	\$	65.00	\$	1,690				
Small Mirror	2	ea	\$	145.00	\$	290				
Sanitary Napkin Disposal	4	ea	\$	65.00	\$	260				
Wall Mtd. Soap Dispenser	12	ea	\$	65.00		780				
Toilet Paper Dispenser	14	ea	\$	65.00	\$	910	•	00.000		
			Subto	tai			\$	22,990		
Miscellaneous Specialties										
Note 9 Powder Coated Mtl Lockers 12' X 12" X 36" Type 2	32	ea	\$	450	\$	14,400				
Stainless Shower Stalls	8	ea	\$	3,500	\$	28,000				
Retractable Basketball Hoop	2	ea	\$	10,000	\$	20,000				
Portable Basketball Hoop	included in F	FE								
Marker/Tack Boards	1	ls	\$	20,000	\$	20,000				
			Subto				\$	82,400		
Wall Protection										
Corner/Wall Guards	1	ls	\$	3,500	\$	3,500				
	•		Subto			<u> </u>	\$	3,500		

Stephen F. Austin State University Gensler Dallas SD Estimate - Coliseum Renovation & Addition September 5, 2018 ESTIMATE DETAIL - BASKETBALL FACILITY  DESCRIPTION	QTY	UNIT	Event Level Concourse Level Tunnel  UNIT COST	23,400 15,000 896 39,296 EXTENSION	sf sf	_	TOTAL
Fire Protection Specialties  Fire Extinguishers and Cabinets	10	ea	\$ 300.00	\$ 3,000		_	
			Subtotal  TOTAL DIVISION 10		\$ 3,000	\$	520,568
DIVISION 11 - EQUIPMENT							
Equipment							
Over Size Theater Seats Note 4	38	ea	\$ 1,200.0	\$ 45,600			
1 Polar Plunge Note 8	1	ea	\$ 80,000	\$ 80,000			
1 Thermal Plunge Note 8	1	ea	\$ 80,000 \$	\$ 80,000			
OFCI Equipment Allowance	1	ea	\$ 5,000.0	\$ 5,000			
			Subtotal		\$ 210,600	_	
			TOTAL DIVISION 11			\$	210,600
DIVISION 12 - FURNISHINGS	4	-II	¢ 500,000	ф <u>гоо ооо</u>			
Fixtures/Furnishings/Equipment (FFE)	1	allow	\$ 500,000 S	\$ 500,000	\$ 500,000	_	
					φ 300,000		500.000
DIVISION 13 - SPECIAL CONSTRUCTION			TOTAL DIVISION 12			\$	500,000
DIVIDION TO SE EDINE CONCENSION			Subtotal		\$ -	_	
			TOTAL DIVISION 13		•	\$	
			TOTAL DIVISION 13			Ψ	-
DIVISION 14 - CONVEYING							
Passenger Elevators	1	ea	\$ 90,000.0 \$	\$ 90,000	\$ 90,000	_	
					\$ 90,000		
			TOTAL DIVISION 14			\$	90,000
DIVISION 21 - FIRE PROTECTION							
Fire Protection							
Sprinkler System	39,296	sf	\$ 3.50	137,536			
			Subtotal		\$ 137,536	_	
			TOTAL DIVISION 21			\$	137,536
DIVISION 22 - PLUMBING							
Plumbing Equipment							
Plumbing Pumps/Equipment	39,296	sf	\$ 4.00	\$ 157,184			
			Subtotal		\$ 157,184	_	
Plumbing Fixtures							
WC	14	ea	\$ 1,000 \$	\$ 14,000			

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#### **ESTIMATE DETAIL - BASKETBALL FACILITY**

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	SUBTOTAL		TOTAL
Undercounter Mounted Lav Quantity Assumed	14	ea	\$	850	\$	11,900				
Shower	12	ea	\$	1,500	\$	18,000				
Wall Mounted Lav	2	ea	\$	850	\$	1,700				
MS-1				2,500		5,000				
	2	ea	\$	2,500	\$	5,000				
Drinking Fountain w/Bottle Fill Carriers	2	ea	\$	2,500	\$	3,870				
Rough-In Fixtures	18 46	ea ea	\$ \$	750.00	\$ \$	34,500				
Auto Flush - Water Closet	14	ea	φ \$	460.00	φ \$	6,440				
Auto Flush - Water Closer Auto Sensor for Lavs	16	ea	\$ \$	510.00		8,160				
Auto ochson for Eave	10	ca		btotal	Ψ	0,100	\$	108,570		
Sanitary Waste/Vent Piping										
Sanitary Waste & Vent Piping	39,296	sf	\$	3.00	\$	117,888				
Floor Drains/Floor Sinks	1	ls	\$	3,500		3,500				
	·			btotal	<u> </u>	5,000	\$	121,388		
Domestic Water										
Domestic Water Piping	39,296	sf	\$	4.00	\$	157,184				
. •			Su	btotal			\$	157,184		
Storm Drainage										
Storm Drainage	39,296	sf	\$	2.00	\$	78,592				
			Su	btotal			\$	78,592		
Miscellaneous										
Testing	39,296	sf	\$	0.40		15,718				
Miscellaneous Plumbing	39,296	sf	\$ Su	1.00 btotal	\$	39,296	\$	55,014		
			то	TAL DIVISION 2	))				\$	677,9
				TAL DIVIDION 2					Ψ	011,5
VISION 23 - MECHANICAL HVAC CHW/HW Equipment										
Air Cooled Chiller 150 ton	1	ea	\$	105,000	\$	105,000				
Boiler	1	ls	\$	45,000		45,000				
Air Handling	55,014	cfm	\$	6.50		357,594				
HWH / CHW Pumps	1	ls	\$	12,000		12,000				
Ductwork	43,226	lb	\$	9.50		410,643				
Exhaust Fans	1	ls	\$	15,000		15,000				
Air Terminals - Elec Heat	55	ea	\$	1,250		68,768				
CHW / HW Piping	39,296	sf	\$	4.00		157,184				
GRDs	39,296	sf	\$	0.70		27,507				
Controls	39,296	sf	\$	5.00		196,480				
	00,200	J.		btotal	<u> </u>	.30, 100	\$	1,395,176		
			то	TAL DIVISION 2	23				\$	1,395,1
VISION 26 - ELECTRICAL										
Secondary Distribution										
Switchgear/Distribution Panels/Panels/Transformers	39,296	sf	\$	6.25	\$	245,600				

Gensler Dallas SD Estimate - Coliseum Renovation & Addition

September 5, 2018

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#### **ESTIMATE DETAIL - BASKETBALL FACILITY**

DESCRIPTION	QTY	UNIT	UNIT C	OST	E	KTENSION	S	UBTOTAL	TOTAL
Emergency Power	39,296	sf	\$	4.50	\$	176,832			
3. 7.	33,233	0.	Subtotal		<u>*</u>	0,002	\$	422,432	
Motor Connections									
Motor and Equipment Connections	39,296	sf	\$	1.50	\$	58,944			
			Subtotal				\$	58,944	
Distribution									
Feeders/Motor and Equipment	39,296	sf	\$	3.00		117,888			
Lighting Branch - Conduit/Wire	39,296	sf	\$	2.35		92,346			
Power Branch - Conduit/Wire	39,296	sf	\$	4.00	\$	157,184			
			Subtotal				\$	367,418	
Building Lighting									
Building Lighting	39,296	sf	\$	9.00		353,664			
Building Lighting Control	39,296	sf	\$	1.50	\$	58,944			
			Subtotal				\$	412,608	
Devices									
Receptacles/Switches/Plug/Wiremold	39,296	sf	\$	1.75	\$	68,768			
			Subtotal				\$	68,768	
Lightning Protection and Grounding									
Lightning Protection	39,296	sf	\$	2.00		78,592			
Grounding	39,296	sf	\$ Subtatal	0.80	\$	31,437	•	110,029	
			Subtotal				\$	110,029	
			TOTAL DI	VISION 2	6				\$ 1,440,198
DIVISION 27 - COMMUNICATIONS									
Data									
Data	39,296	sf	\$ Subtotal	4.00	\$	157,184	\$	157,184	
Audio-Visual			Subtotal				Þ	137,104	
Multi SreenProjection @ Front Wall	2	ea	\$	10,000	\$	20,000			
Player Lounge	2	ea	\$	30,000		60,000			
Film Room	2	ea	\$	30,000		60,000			
Scoreboard	1	ea	\$	20,000		20,000			
Audio Visual - Other Equipment	39,296	sf	\$	3.00		117,888			
Audio Visual - Rough-In	39,296	sf	\$	1.50		58,944			
•			Subtotal				\$	336,832	
			TOTAL DI	VISION 2	7				\$ 494,016
DIVISION 28 - SECURITY & FIRE ALARM									
Security Equipment/Cable									
Security	39,296	sf	\$	4.00	\$	157,184			
			Subtotal				\$	157,184	

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 39,296
 sf

#### **ESTIMATE DETAIL - BASKETBALL FACILITY**

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	SI	UBTOTAL		TOTAL
Fire Alarm										
Fire Alarm - Practice Facility	39,296	sf	\$	3.00	\$	117,888				
,	•		Sub	total		,	\$	117,888		
			T01	AL DIVISION 2	28				\$	275,072
DIVISION 31 - EARTHWORK										
Earthwork										
Mass Excavation	8,889	су	\$	14.00	\$	124,444				
Excavate Tunnel	465	су	\$	18.00	\$	8,363				
Soil Retention at Tunnel	3,136	sf	\$	45.00	\$	141,120				
Haul Spoils	10,757	су	\$	10.00	\$	107,565				
Grading	8,261	sf	\$	0.35	\$	2,891				
Building Pad Construction	2,620	су	\$	25.00	\$	65,493				
Fine Grade Parking and Walk Areas	8,261	sf	\$	0.50	\$	4,131				
Termite Control	39,296	sf	\$	0.35	\$	13,754			_	
			Sub	total			\$	467,761	-	
Environmental										
SWPPP and Maintenance	1	ls	\$	3,500.00	\$	3,500				
SWPPP Construction Entrance	1,500	sf	\$	3.00	\$	4,500				
SWPPP Documentation	1	ls	\$	5,000.00	\$	5,000				
			Sub	total			\$	13,000		
			T01	TAL DIVISION	31				\$	480,761
DIVISION 32 - EXTERIOR IMPROVEMENTS										
Pavements / Hard Scapes										
Exterior Main Steps	1,186	sf	\$	35.00	\$	41,510				
Exterior Walks	7,075	sf	\$	7.00	\$	49,525				
Step Handrails	143	lf	\$	175.00	\$	25,025				
Other Sitework Allowance	1	allow	\$	30,000.00	\$	30,000				
Landscaping and Irrigation Allowance	1	allow	\$	75,000.00	\$	75,000				
			Sub	total			\$	221,060	-	
			T01	AL DIVISION	32				\$	221,060

#### **DIVISION 33 - SITE UTILITIES**

#### Site Power Distribution

SEE DIVISION 26 - ELECTRICAL

### Site Communications

SEE DIVISION 27 - TELECOMMUNICATIONS

#### **Site Thermal Utilities**

SEE DIVISION 23 - HVAC

#### Storm Drainage

 Storm Drainage
 1
 Is
 \$ 100,000
 \$ 100,000

 Connections
 1
 Is
 \$ 4,000
 \$ 4,000

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Event Level
 23,400 sf

 Concourse Level
 15,000 sf

 Tunnel
 896 sf

 39,296 sf

#### **ESTIMATE DETAIL - BASKETBALL FACILITY**

DESCRIPTION	QTY	UNIT	l	JNIT COST	E	XTENSION	SUBTOTAL		TOT
			Subt	total			\$	104,000	
Fire/Domestic Water									
Domestic Water Line	200	lf	\$	65.00	\$	13,000			
Fire Line	200	lf	\$	85.00	\$	17,000			
Connections/BFP/Vault	-	ls	\$	15,000	\$	-			
			Subt	total			\$	30,000	
Site Lighting									
Site Lighting	1	ls	\$	200,000	\$	200,000			
Ç Ç			Subf	total			\$	200,000	
Sanitary									
Sanitary Line to Existing	200	lf	\$	78.00	\$	15,600			
Connect to Existing	1	ea	\$	1,500.00	\$	1,500			
Trenching /Backfill	200	lf	\$	25.00	\$	5,000			
			Subf	total			\$	22,100	
te Accessories									
Site Furnishings	1	ls	\$	20,000	\$	20,000			
Monument Sign	1	ls	\$	30,000	\$	30,000			
			Subt	total			\$	50,000	

TOTAL DIVISION 33 \$ 406,100

SUB TOTAL CONSTRUCTION \$ 14,480,677

SEE SUMMARY FOR MARKUPS

Concourse Level South 5,300 sf 5,300 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL SOUTH

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	SUBTOTAL		TOTAL
DIVISION 01 - GENERAL REQUIREMENTS	2	mos								
Commissioning Coordination	9	wk	\$	2,500.00	\$	21,650				
Cleanup - Periodic	2	mo	\$	2,400.00	\$	4,800				
Cleanup - Final Clean Interior/Glass	5,300	sf	\$	0.45	\$	2,385				
Street Clean/Dumpster	9	wk	\$	500.00	\$	4,330				
Allow for Mock-Ups	1	ls	\$	10,000.00	\$	10,000				
BIM Coordination	1	ls	\$	8,000.00	\$	8,000				
Testing	1	allow	\$	5,000.00		BY OWNER				
Safety Meetings/Materials	2	mo	\$	1,100.00	\$	2,200				
Project Signage	1	ls	\$	4,000.00	\$	4,000				
Layout	5,300	sf	\$	0.55	\$	2,915				
			Sul	ototal			\$	60,280		
			TO	TAL DIVISION (	)1				\$	60,280
DIVISION 02 - EXISTING CONDITIONS  Demo Existing	5,300	sf	\$	12.00	\$	63,600				
Define Existing	0,000	31	_	ototal	Ψ	00,000	\$	63,600		
			TO	TAL DIVISION (	)2				\$	63,600
DIVISION 03 - CONCRETE										
Miscellaneous Concrete										
Concrete Repairs	5,300	sf	\$	1.50	\$	7,950			,	
			Sul	ototal			\$	7,950		
			TO	TAL DIVISION (	)3				\$	7,950
DIVISION 04 - MASONRY										
			Sul	ototal			\$	-		
			TO	TAL DIVISION (	)4				\$	-
DIVISION 05 - METALS										
Miscellaneous	0	4	Φ.	E E00 00	•	40.004				
Miscellaneous Steel at 0.75 psf	2	ton	\$ Sul	5,500.00 ototal	Þ	10,931	\$	10,931		
			TO	TAL DIVISION (	)5				\$	10,931
DIVISION 06 - WOOD AND PLASTICS										
Millwork										
Possible Upper Lower Base Cabinet	18	lf .r		450		8,100				
Solid Surface Counter	63	lf .c		175		11,025				
Countertop at POS	20	lf 		300		6,000				
SS Work Counter	34	lf	•	300		10,200				
Millwork - Allow Not Shown	5,300	sf	\$ Sul	0.50 ototal	\$	2,650	\$	37,975		
Rough Carpentry/Blocking										
Rough Carpentry / Blocking	5,300	sf	\$	0.50	\$	2,650				
			Sul	ototal			\$	2,650	•	

SD Estimate - Coliseum Renovation & Addition

Concourse Level South 5,300 sf 5,300 sf September 5, 2018

#### ESTIMATE DETAIL - CONCOURSE LEVEL SOUTH

DESCRIPTION	QTY	UNIT	UNI	T COST	EX	TENSION	Sl	JBTOTAL		TOTAL
			TOTAL	. DIVISION 0	6				\$	40,625
DIVISION 07 - THERMAL & MOISTURE PROTECTION										
Caulking and Sealants										
Caulking and Sealants	5,300	sf	\$ Subtot	2.10	\$	11,130	\$	11,130		
			Jubioi	ai			Ψ	11,130		
			TOTAL	DIVISION 0	7				\$	11,130
DIVISION 08 - DOORS AND GLAZING										
Interior Doors and Frames										
Mech/Elect./Jan/ Double	4	ea	\$	2,160		8,640				
Restroom Single	2	ea	\$		\$	3,700				
Mech/Elect./Jan/ Single	3	ea	\$		\$	5,550				
Elevator Lobby Double	1	ea	\$		\$	3,500				
20' Overhead Coiling	1	ea	\$		\$	10,000				
Office Single	2	ea	\$		\$	3,700				
V-Ball Suite Double Glass	1	ea	\$		\$	4,500				
Allow for Access Doors	1	ls	\$ Subtot	500.00	\$	500	\$	40,090		
			Subtot	ai			φ	40,090		
Interior Glazing Alum Frame Store Front Glass	184	ıt	¢	45.00	r	0 200				
Alum Frame Store From Glass	104	lf	\$ Subtot	45.00 al	Ф	8,280	\$	8,280	-	
			TOTAL	. DIVISION 0	8				\$	48,370
									•	.,.
DIVISION 09 - FINISHES										
Partitions	070	16	•	000.00	•	450 400 0				
CMU	670	lf ı.c	\$	238.00		159,460.0				
CMU Chase	181	lf '	\$	140.00		25,340.0				
Trash Chute	1	ls	\$	3,500.00		3,500.0				
Elevator	28	lf	\$ Subtot		\$	3,920.0	\$	192,220		
							Ť	,		
Ceilings Open to Structure (paint)	1,621	sf	\$	1.00	\$	1,621				
Lay-In Ceiling	3,350	sf	\$	4.50		15,075				
, , , ,	7,		Subtot			- 7,	\$	16,696	•	
Paint / Wall Covering										
Paint Doors	1	ls	\$	1,050.00	\$	1,050				
Paint Frames	1	ls	\$	630.00		630				
Paint Walls	1,380	sf	\$	1.25		1,725				
Paint CMU	11,500	sf	\$	1.50	\$	17,250				
			Subtot	al			\$	20,655		
Flooring			•		•					
Flooring - Carpet	660	sf	\$	5.00		3,300				
Flooring - Sealed Concrete	4,560	sf	\$	2.00		9,120				
Base - Rubber	1,320	lf	\$	2.00	\$	2,640	•			
			Subtot	al			\$	15,060		

 Concourse Level South
 5,300 sf

 5,300 sf
 5,300 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL SOUTH

DESCRIPTION	QTY	UNIT	U	NIT COST	EXTENSION	SI	UBTOTAL		TOTAL
			тоти	AL DIVISION 09				\$	244,631
DIVISION 10 - SPECIALTIES									
Signage									
Room and Directional Signage	5,300	allow	\$ Subt	0.40 \$	3 2,120	\$	2,120	-	
Toilet Accessories						·	,		
Paper Towel Dispenser W/ Trash Receptacle	8	ea	\$	275.00 \$	3 2,200				
Grab Bar Set	6	ea	\$ \$	255.00 \$					
Mirror	62	lf	\$	65.00 \$					
Small M mirror	2	ea	\$	145.00 \$					
Sanitary Napkin Disposal	21	ea	\$	65.00 \$					
Wall Mtd. Soap Dispenser	14	ea	\$	65.00 \$					
Toilet Paper Dispenser	24	ea	\$	65.00 \$					
Urinal Screen	6	ea	\$	450.00 \$					
Floor Mounted ADA HDPE Toilet Partition	4	ea	\$	1,200.00 \$					
Floor Mounted Standard HDPE Toilet Partition	20	ea	\$	1,000.00 \$					
			Subt			\$	39,385	-	
Wall Protection									
Corner/Wall Guards	1	ls	\$	1,500 \$	1,500				
			Subt	otal		\$	1,500		
Fire Protection Specialties									
Fire Extinguishers and Cabinets	2	ea	\$	300.00 \$	600			_	
			Subt	otal		\$	600		
			тот	AL DIVISION 10				\$	43,605
DIVISION 11 - EQUIPMENT									
			Subt	otal		\$		-	
						٠			
			TOTA	AL DIVISION 11				\$	-
DIVISION 12 - FURNISHINGS									
			Subt	otal		\$	-	-	
			тот	AL DIVISION 12				\$	
DIVISION 13 - SPECIAL CONSTRUCTION									
BIVISION 13-3FECIAL CONSTRUCTION								_	
			Subt	otal		\$	-		
			TOTA	AL DIVISION 13				\$	-
DIVISION 14 - CONVEYING									
Service Elevator 2 stop	1	ea	\$	120,000.00 \$	120,000			_	
			Subt	otal		\$	120,000		

Concourse Level South 5,300 sf 5,300 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL SOUTH

DESCRIPTION	QTY	UNIT	UN	IT COST	EX	EXTENSION SUBTOTAL				TOTAL
			TOTAL	_ DIVISION 14	4				\$	120,000
DIVISION 21 - FIRE PROTECTION										
Fire Protection										
Sprinkler System	5,300	sf	\$	3.50	\$	18,550			_	
			Subtot	tal			\$	18,550		
			TOTAL	DIVISION 21	1				\$	18,550
DIVISION 22 - PLUMBING										
Plumbing Equipment	5 000		•	0.00	Φ.	40.000				
Plumbing Pumps/Equipment	5,300	sf	\$ Subtot	2.00	Þ	10,600	\$	10,600	_	
Plumbing Fixtures										
WC	26	ea	\$	1,000.00	\$	26,000				
Urinal	8	ea	\$	1,000.00	\$	8,000				
MS-1	2	ea	\$	2,500.00	\$	5,000				
LAV Assumed Quaintly	16	ea	\$	750.00	\$	12,000				
Wall Hung Lav	2	ea	\$		\$	1,700				
Carriers	36	ea	\$		\$	7,740				
Rough-In Fixtures	54	ea	\$		\$	40,500				
Auto Flush - Water Closet	26	ea	\$		\$	11,960				
Auto Sensor for Sink	16	ea	\$ Subtot		\$	8,160	\$	121,060	-	
Sanitary Waste/Vent Piping										
Sanitary Waste Vent Piping	5,300	sf	\$	4.00	¢	21,200				
Floor Drains/Floor Sinks	1	ls	\$	1,000		1,000				
rico stanon ico cimo		10	Subto		<u> </u>	1,000	\$	22,200	_	
Domestic Water										
Domestic Water Piping	5,300	sf	\$ Subtot	5.00 tal	\$	26,500	\$	26,500	_	
Natural Gas										
Natural Gas Distribution	-	sf	\$	1.00	\$	-			no g	gas
			Subto	tal			\$	-	_	
Miscellaneous										
Testing	5,300	sf	\$	0.40		2,120				
Miscellaneous Plumbing	5,300	sf	\$ Subtot	1.00 t <b>al</b>	\$	5,300	\$	7,420	-	
			TOTAL	DIVISION 22	2				\$	187,78
IVISION 23 - MECHANICAL HVAC									7	,
CHW/HW Equipment										
HVAC Allowance	5,300	sf	\$ Subtot	32.00	\$	169,600	\$	169,600	_	
							Ŧ	,		

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Concourse Level South 5,300 sf 5,300 sf September 5, 2018

ESTIMATE DETAIL -	CONCOURSE	LEVEL SOUTH
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DESCRIPTION	QTY	UNIT	UNIT COST	EXTENSION	SUBTOTAL		TOTAL
DIVISION 26 - ELECTRICAL							
Secondary Distribution							
Work at Existing Panels	1	ls	\$ 5,000.00	\$ 5,000			
· ·	·		Subtotal	7 2,555	\$ 5,00	0	
Motor Connections							
Motor and Equipment Connections	5,300	sf	\$ 1.00	\$ 5,300	\$ 5,30	<u> </u>	
			Oubtotal		ψ 3,30	•	
Distribution	5 000	,	<b>A</b> 0.05	<b>A</b> 40.455			
Lighting Branch - Conduit/Wire Power Branch - Conduit/Wire	5,300 5,300	sf sf	\$ 2.35 \$ 4.00				
Fower Draiton - Condutivitie	5,300	51	Subtotal 4.00	\$ 21,200	\$ 33,65	5	
Building Lighting							
Building Lighting	5,300	sf	\$ 9.00	\$ 47,700			
Building Lighting Control	5,300	sf	\$ 0.50	\$ 2,650			
			Subtotal		\$ 50,35	0	
Devices	F 200	_£	ф 4.7 <i>5</i>	<b>6</b> 0.075			
Receptacles/Switches/Plug/Wiremold	5,300	sf	\$ 1.75 Subtotal	\$ 9,275	\$ 9,27	5	
			TOTAL DIVISION	ne	, ,,	\$	103,580
			TOTAL DIVISION	20		Ψ	103,300
DIVISION 27 - COMMUNICATIONS Data							
Data	5,300	sf	\$ 7.50	\$ 39,750		_	
Audio-Visual			Subtotal		\$ 39,75	0	
Audio Visual - Equipment	5,300	sf	\$ 2.00	\$ 10,600			
Audio Visual - Rough-In	5,300	sf	\$ 1.00				
Č			Subtotal	•	\$ 15,90	0	
			TOTAL DIVISION	27		\$	55,650
DIVISION 28 - SECURITY & FIRE ALARM							
Security Equipment/Cable							
Security	5,300	sf	\$ 2.00	\$ 10,600			
,			Subtotal		\$ 10,60	0	
Fire Alarm							
Fire Alarm	5,300	sf	\$ 3.00 Subtatal	\$ 15,900		_	
			Subtotal		\$ 15,90	U	
			TOTAL DIVISION	28		\$	26,500
			SUB TOTAL CONS	STRUCTION		\$	1,212,782
			SEE SUMMARY F	OR MARKUPS			

 September 5, 2018
 West Amenity Addition
 13,300 sf

 13,300 sf
 3,300 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL WEST & EAST AMENITY ADDITION (saddlebags)

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	UBTOTAL	TOTAL
DIVISION 01 - GENERAL REQUIREMENTS	5	mos							
Commissioning Coordination	22	wk	\$	2,500.00	\$	54,125			
Cleanup - Periodic	5	mo	\$	2,400.00	\$	12,000			
Cleanup - Final Clean Interior/Glass	6,766	sf	\$	0.45		3,045			
Street Clean/Dumpster	22	wk	\$	500.00		10,825			
Allow for Mock-Ups	1	ls	\$	10,000.00		10,000			
BIM Coordination	1	ls	\$	8,000.00		8,000			
Testing	1	allow	\$	5,000.00		BY OWNER			
Safety Meetings/Materials	5	mo	\$	1,100.00		5,500			
Project Signage	1	ls	\$	4,000.00	\$	4,000			
Layout	6,766	sf	\$	0.55		3,721			
•			Sul	btotal			\$	111,216	
			то	TAL DIVISION (	)1				\$ 111,216
DIVISION 02 - EXISTING CONDITIONS									
General Demolition	13,300	sf	\$	12.00 btotal	\$	159,600	\$	159,600	
			Jui	biolai			Ą	139,000	
			TO	TAL DIVISION (	)2				\$ 159,600
IVISION 03 - CONCRETE									
Drilled Piers									
Piers - 24/48 x 20' Deep	21	ea	\$	1,710.00		35,765			
Pier Casing	418	lf	\$	45.00		18,824			
Haul Spoils	65	су	\$	10.00	\$	650			
			Sul	btotal			\$	55,238	
Grade Beams									
Perimeter Grade Beams - 18" x 30"	546	lf	\$	80.00	\$	43,680			
Grade Beam Void Forms	546	lf	\$	8.00	\$	4,368			
Grade Beam Soil Retainers	1,092	lf	\$	8.50	\$	9,282			
			Sul	btotal			\$	57,330	
Slabs									
5" Slab on Grade	13,300	sf	\$	6.50	\$	86,450		22.452	
			Sul	btotal			\$	86,450	
Miscellaneous Concrete									
Misc Concrete	13,300	sf	\$ Sul	0.75 btotal	\$	9,975	\$	9,975	
			Oui	ototai			Ψ	3,313	
			TO	TAL DIVISION (	)3				\$ 208,993
IVISION 04 - MASONRY									
Face Brick	7,264	sf	\$	26.00		188,864			
Scaffolding	9,280	sf	\$ Sul	2.60 btotal	\$	24,128	\$	212,992	
							Ψ	£ 1£,33£	
			TO	TAL DIVISION (	)4				\$ 212,992

DIVISION 05 - METALS Structural

SD Estimate - Coliseum Renovation & Addition

 September 5, 2018
 West Amenity Addition
 13,300 sf

 13,300 sf
 3,300 sf

DESCRIPTION	QTY	UNIT		UNIT COST	E	EXTENSION	S	UBTOTAL		TOTAL
Steel Framing at 8.5 psf	29	ton	\$	4,100.00	\$	117,898				
Hoisting	2	mos	\$	45,000.00	\$	90,000				
Roof Deck	13,300	sf	\$	3.50	\$	46,550				
			Sub	total		·	\$	254,448	•	
Miscellaneous										
Metal Panel	3,100	sf	\$	42.00	\$	130,200				
Miscellaneous Steel at 1.5 psf	5	ton	\$	5,500.00	\$	27,910				
			Sub	total			\$	158,110	•	
			TO	TAL DIVISION 0	5				\$	412,557
DIVISION 06 - WOOD AND PLASTICS Millwork										
SS Counter at POS	79	lf	\$	300.00	\$	23,700				
SS Work Counter	128	ı, It	\$	300.00		38,400				
oo work counter	120	"		ototal	Ψ	50,400	\$	62,100	-	
Rough Carpentry/Blocking										
Rough Carpentry / Blocking	13,300	sf	\$	0.50	\$	6,650				
riough outpoints / Blooming	.0,000	0.		ototal	Ψ	0,000	\$	6,650	•	
			TO	TAL DIVISION 0	6				\$	68,750
										,
DIVISION 07 - THERMAL & MOISTURE PROTECTION Insulation/Waterproofing										
Insulation/Weather Proofing at Exterior Skin	10,364	sf	\$	6.00	\$	62,184				
	-,			total		- , -	\$	62,184	•	
Roofing										
Modified Bitumen Roofing	13,300	sf	\$	13.00	\$	172,900				
			Sub	total			\$	172,900	•	
Caulking and Sealants										
Caulking and Sealants	13,300	sf	\$	2.10	\$	27,930			_	
			Sub	ototal			\$	27,930		
			TO	TAL DIVISION 0	7				\$	263,014
DIVISION 08 - DOORS AND GLAZING										
Glass and Glazing										
Curtainwall	1,520	sf	\$	95.00	\$	144,400			_	
			Sub	ototal			\$	144,400		
Exterior Doors										
Double Glass Entry Doors	20	pr	\$ Sub	6,500.00 ototal	\$	130,000	\$	130,000	-	
Interior Desire and Furnis-								,		
Interior Doors and Frames	^		¢	1 050 00	r.	0.700				
Jan Single	2	ea	\$	1,850.00		3,700				
Concession Single	5	ea	\$	1,850.00		9,250				
Double Glass	2	ea	\$	4,500.00		9,000				
10' Overhead Coiling Door Concession	4	ea	\$	4,500.00	φ	18,000				

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

West Amenity Addition	13,300	sf	
	13,300	sf	

DESCRIPTION	QTY	UNIT	UNIT	COST	Eλ	KTENSION	S	UBTOTAL		TOTAL
Allow for Access Doors	1	ls	\$	1,500.00	\$	1,500			_	
			Subtota	I			\$	41,450		
			TOTAL	DIVISION	08				\$	315,850
DIVISION 09 - FINISHES										
Partitions										
CMU	602	lf		238		143,276				
CMU Chase	365	lf		238	\$	86,870				
Solid Wall Backup - Studs & Sheathing	3,632	sf	\$ Subtota	8.00 I	\$	29,056	\$	259,202	-	
Ceilings			Gubtoto				٧	200,202		
Lay In Ceiling Washable	3,620	sf	\$	6.00	\$	21,720				
Open to Structure (paint)	400	sf	\$	1.00	\$	400				
Lay-In Ceiling	9,670	sf	\$ Subtota	4.50	\$	43,515	\$	65,635	_	
			Subtota				Ψ	05,055		
Paint / Wall Covering	4		•	0.400.00	•	0.400				
Paint Doors	1	ls	\$	3,190.00		3,190				
Paint Frames	12.400	ls	\$	1,210.00		1,210				
Paint CMU	42,400 13,300	sf sf	\$	1.50 0.50		63,600 6,650				
Misc Painting	13,300	51	\$ Subtota		φ	0,000	\$	74,650	-	
Flooring										
Flooring - Sealed Concrete	13,300	sf	\$	2.00	\$	26,600				
Base - Rubber	2,540	If	\$	2.00		5,080				
Succe (Australia)	2,040	"	Subtota		Ψ	0,000	\$	31,680	-	
			TOTAL	DIVISION (	09				\$	431,167
DIVISION 10 - SPECIALTIES										
Signage										
Room and Directional Signage	13,300	allow	\$	0.40	\$	5,320				
	.,		Subtota			-,,	\$	5,320	-	
Toilet Accessories										
Paper Towel Dispenser W/ Trash Receptacle	24	ea	\$	275.00	\$	6,600				
Grab Bar Set	8	ea	\$	255.00		2,040				
Mirror	252	lf	\$	65.00		16,380				
Sanitary Napkin Disposal	25	ea	\$	65.00		1,625				
Wall Mtd. Soap Dispenser	48	ea	\$	65.00		3,120				
Toilet Paper Dispenser	56	ea	\$	65.00		3,640				
Urinal Screen	8	ea	\$	450.00		3,600				
Floor Mounted ADA HDPE Toilet Partition	4	ea	\$	1,200.00		4,800				
Floor Mounted Standard HDPE Toilet Partition	52	ea	\$	1,000.00		52,000				
			Subtota				\$	93,805	_	
Wall Protection										
Corner/Wall Guards	1	ls	\$	5,000.00	\$	5,000				
Comon Train Caarac					Ψ	0,000				

SD Estimate - Coliseum Renovation & Addition

 September 5, 2018
 West Amenity Addition
 13,300 sf

 13,300 sf
 3,300 sf

DESCRIPTION	QTY	UNIT	UNI	T COST	EX	TENSION	Sl	JBTOTAL		TOTAL
Fire Extinguishers and Cabinets	4	ea	\$	300.00	\$	1,200				
<del> </del>			Subtota		*	.,	\$	1,200		
			TOTAL	DIVISION 1	0				\$	105,325
DIVISION 11 - EQUIPMENT										
			Subtota				•			
			Subtota	al			\$	•		
			TOTAL	DIVISION 1	1				\$	-
DIVISION 12 - FURNISHINGS										
			Subtota	al			\$	-		
			TOTAL	DIVISION 1	2				\$	-
DIVISION 13 - SPECIAL CONSTRUCTION										
			Subtota	al			\$	-		
			TOTAL	DIVISION 1	3				\$	_
DIMEION 44 CONVEYING									•	
DIVISION 14 - CONVEYING										
			Subtota	al			\$	-		
			TOTAL	DIVISION 1	4				\$	-
DIVISION 21 - FIRE PROTECTION										
Fire Protection	42 200	-1	œ.	2.50	•	40.550				
Sprinkler System	13,300	sf	\$ Subtota	3.50 al	\$	46,550	\$	46,550		
			TOTAL	DIVISION 2	21				\$	46,550
DIVISION 22 - PLUMBING										
Plumbing Equipment										
Plumbing Pumps/Equipment	13,300	sf	\$	4.00	\$	53,200				
			Subtota	al			\$	53,200		
Plumbing Fixtures										
WC	56	ea	\$	1,000		56,000				
Urinal	8	ea	\$	1,000		8,000				
MS-1	2	ea	\$	2,500	\$	5,000				
LAV Wall Mtd	32	ea	\$	750	\$	24,000				
Carriers	64	ea	\$	215.00		13,760				
Rough-In Fixtures	98	ea	\$	750.00		73,500				
Auto Flush - Water Closet	56	ea	\$	460.00		25,760				
Auto Sensor for Sink	32	ea	\$	510.00	\$	16,320				
			Subtota	al			\$	222,340		

 West Amenity Addition
 13,300 sf

 13,300 sf
 sf

DESCRIPTION	QTY	UNIT	UNIT C	OST	ΕX	TENSION	SI	UBTOTAL		TOTAL
Considerate Wanted Name Considerate										
Sanitary Waste/Vent Piping Sanitary Waste & Vent Piping	13,300	sf	\$	6.00	¢	79,800				
Floor Drains/Floor Sinks	13,300	ls		,200.00		1,200				
Floor Diams/Floor Siliks	'	15	Subtotal	,200.00	φ	1,200	\$	81,000		
Domestic Water	12 200		œ.	F 00	Φ.	00 500				
Domestic Water Piping	13,300	sf	\$ Subtotal	5.00	\$	66,500	\$	66,500		
			Gubtotu				•	00,000		
Storm Drainage	42.200	,	•	0.00	•	00.000				
Storm Drainage	13,300	sf	\$ Subtotal	2.00	\$	26,600	\$	26,600		
			Gubtotu				•	20,000		
Miscellaneous	40.000									
Testing Miscellaneous Plumbing	13,300 13,300	sf sf	\$ \$	0.40 1.00		5,320 13,300				
Miscellaneous Plumbing	13,300	51	Subtotal	1.00	φ	13,300	\$	18,620		
			TOTAL D					•	•	400.0
			TOTAL DI	VISION	.2				\$	468,2
SION 23 - MECHANICAL HVAC										
CHW/HW Equipment HVAC	13,300	sf	\$	32.00	Ф	425,600				
NVAC	13,300	51	Subtotal	32.00	φ	425,000	\$	425,600		
			TOTAL DI	VISION 2	23				\$	425,6
									•	,-
SION 26 - ELECTRICAL										
Primary Distribution Secondary Distribution										
Switchgear/Distribution Panels/Panels/Transformers	13,300	sf	\$	6.25	\$	83,125				
Emergency Power	13,300	sf	\$	5.25		69,825				
Ç ,			Subtotal		·	,	\$	152,950		
Motor Connections										
Motor and Equipment Connections	13,300	sf	\$	1.50	\$	19,950				
			Subtotal				\$	19,950		
Distribution										
Feeders/Motor and Equipment	13,300	sf	\$	2.00	\$	26,600				
Lighting Branch - Conduit/Wire	13,300	sf	\$	2.35	\$	31,255				
Power Branch - Conduit/Wire	13,300	sf	\$	4.00	\$	53,200				
			Subtotal				\$	111,055		
Building Lighting										
Building Lighting	13,300	sf	\$	9.00	\$	119,700				
Building Lighting Control	13,300	sf	\$	1.50	\$	19,950				
			Subtotal				\$	139,650		
Devices										
Receptacles/Switches/Plug/Wiremold	13,300	sf	\$	1.75	\$	23,275				
			Subtotal				\$	23,275		

Stephen F. Austin State University
Gensler Dallas
SD Estimate Colingum Penavation 8

SD Estimate - Coliseum Renovation & Addition

 September 5, 2018
 West Amenity Addition
 13,300 sf

 13,300 sf
 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL WEST & EAST AMENITY ADDITION (saddlebags)

DESCRIPTION	QTY	UNIT	UNIT COST		EXTENSION	Sl	JBTOTAL		TOTAL
Lightning Protection and Grounding									
Lightning Protection	13,300	sf	\$ 2.00	) \$	26,600				
Grounding	13,300	sf	\$ 0.80	) \$	10,640				
			Subtotal			\$	37,240		
			TOTAL DIVISION	l 26				\$	484,120
IVISION 27 - COMMUNICATIONS									
Data									
Data	13,300	sf		) \$	66,500				
			Subtotal			\$	66,500		
Audio-Visual		,							
	not required		Subtotal			\$	-	-	
			TOTAL DIVISION	l 27				\$	66,500
VISION 28 - SECURITY & FIRE ALARM									
Security Equipment/Cable									
Security	13,300	sf		) \$	53,200			_	
			Subtotal			\$	53,200		
Fire Alarm									
Fire Alarm	13,300	sf	\$ 2.69	5 \$	35,245	\$	35,245	-	
			Subtotal			Ą	33,243		
			TOTAL DIVISION	1 28				\$	88,445
IVISION 31 - EARTHWORK									
Earthwork									
Building Pad Construction	451	су	\$ 25.00		11,277				
Termite Control	13,300	sf	\$ 0.39	5 \$	4,655	\$	15,932	•	
Environmental									
Environmental			Subtotal			\$	-		
			TOTAL DIVISION	l 31				\$	15,932
IVISION 32 - EXTERIOR IMPROVEMENTS									
Pavements / Hard Scapes									
			Subtotal			\$	-		
			TOTAL DIVISION	1 32				\$	-

**DIVISION 33 - SITE UTILITIES** 

Site Power Distribution

SEE DIVISION 26 - ELECTRICAL

Site Communications

SEE DIVISION 27 - TELECOMMUNICATIONS

 West Amenity Addition
 13,300 sf

 13,300 sf

SEE SUMMARY FOR MARKUPS

DESCRIPTION	QTY	UNIT	l	JNIT COST	Ελ	CTENSION	S	UBTOTAL	 TOTAL
Storm Drainage									
Storm Drainage	1	ls	\$	30,000	\$	30,000			
Connections	1	ls	\$	2,000	\$	2,000			
			Sub	total			\$	32,000	
Fire/Domestic Water									
Domestic Water Line	200	lf	\$	65.00	\$	13,000			
Fire Line	200	lf	\$	85.00	\$	17,000			
Connections/BFP/Vault	-	ls	\$	15,000	\$	-			
			Sub	total			\$	30,000	
Site Lighting									
Site Lighting	1	ls	\$	100,000	\$	100,000			
			Sub	total			\$	100,000	
Site Sanitary									
Sanitary Line to Existing	200	lf	\$	78.00	\$	15,600			
Connect to Existing	1	ea	\$	1,500.00	\$	1,500			
Trenching /Backfill	200	lf	\$	25.00	\$	5,000			
			Sub	total			\$	22,100	
Sanitary									
Sanitary Line to Existing	200	lf	\$	78.00	\$	15,600			
Connect to Existing	1	ea	\$	1,500.00	\$	1,500			
Trenching /Backfill	200	lf	\$	25.00	\$	5,000			
			Sub	total			\$	22,100	
			тот	AL DIVISION	33				\$ 206,2
			SHE	TOTAL CONS	TRUC	TION			\$ 4,091,0

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428 sf

 Office Level
 12,032 sf

 24,460 sf

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	SUBTOTAL		TOTAL
DIVISION 01 - GENERAL REQUIREMENTS	10	mos								
Commissioning Coordination	43	wk	\$	2,500.00	\$	108,250				
Cleanup - Periodic	10	mo	\$	2,400.00	\$	24,000				
Cleanup - Final Clean Interior/Glass	24,460	sf	\$	0.45	\$	11,007				
Street Clean/Dumpster	43	wk	\$	500.00	\$	21,650				
Allow for Mock-Ups	1	ls	\$	15,000.00	\$	15,000				
BIM Coordination	1	ls	\$	30,000.00	\$	30,000				
Testing	1	allow	\$	30,000.00		BY OWNER				
Safety Meetings/Materials	10	mo	\$	1,100.00	\$	11,000				
Project Signage	1	ls	\$	4,000.00	\$	4,000				
Layout	24,460	sf	\$	0.55	\$	13,453				
·			Sul	ototal			\$	238,360	-	
			TO	TAL DIVISION (	)1				\$	238,36
IVISION 02 - EXISTING CONDITIONS										
General Demolition	1	ls	\$	50,000.00 ototal	\$	50,000	\$	E0 000	-	
							Þ	50,000		
			10	TAL DIVISION (	)2				\$	50,00
IVISION 03 - CONCRETE  Drilled Piers										
Piers - 30/60 x 20' Deep	36	ea	\$	8,170.00	\$	294,692				
Pier Casing	721	If	\$	45.00	\$	32,463				
Haul Spoils	180	су	\$	10.00	\$	1,800				
riaul Spoils	100	Су	_	ototal	φ	1,000	\$	328,955	•	
Grade Beams										
Perimeter Grade Beams - 18" x 30"	505	lf	\$	80.00	\$	40,400				
Grade Beam Void Forms	505	lf	\$	8.00	\$	4,040				
Grade Beam Soil Retainers	1,010	lf	\$	8.50	\$	8,585				
Strap Beams	100	lf	\$	75.00	\$	75,750				
			Sul	ototal			\$	128,775		
Slabs 5" Slab on Grade	12,428	sf	\$	6.50	¢	80,782				
3 Glab GI Glade	12,420	31	_	ototal	Ψ	00,702	\$	80,782	-	
Elevated Concrete										
Concrete Fill on Composite Deck (SEE DIV 05 for DECK)	12,032	sf	\$	4.75 ototal	\$	57,152	\$	57,152	-	
			Jui	Jiotai			Ψ	37,132		
Miscellaneous Concrete Elevator Pits	1	ea	\$	8,500.00	\$	8,500				
Misc Concrete	24,460	sf	\$	0.75		18,345				
			Sul	ototal		•	\$	26,845	-	
			TO <sup>-</sup>	TAL DIVISION (	)3				\$	622,50
IVISION 04 - MASONRY										
Face Brick	3,454	sf	\$	26.00	\$	89,804				
CMU Stair / Elevator Towers	2,520	sf	\$	20.00	\$	50,400				

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428
 sf

 Office Level
 12,032
 sf

 24,460
 sf

DESCRIPTION	QTY	UNIT	UN	NIT COST	E.	XTENSION	SI	UBTOTAL		TOTAL
Scaffolding	8,046	sf	\$	2.60	\$	20,920				
Country (	3,0.0	٥.	Subto		<u> </u>	20,020	\$	161,124	-	
			тота	L DIVISION (	)4				\$	161,124
IVISION 05 - METALS										
Stairs & Metal Railings										
Interior Stairs - Monumental	47	risers	\$ Subto	1,200.00 otal	\$	55,862	\$	55,862		
Structural										
Steel Framing at 8.5 psf	104	ton	\$	4,100.00	\$	426,216				
Composite Steel Deck	12,032	sf	\$	5.25	\$	63,168				
Shear Studs	301	ea	\$	12.00	\$	3,610				
Hoisting	2.5	mos	\$	45,000.00	\$	112,500				
Roof Deck	12,428	sf	\$	3.50	\$	43,498				
			Subto	otal			\$	648,991		
Miscellaneous Miscellaneous Steel at 1.5 psf	18	ton	\$	5,500.00	\$	100,898				
Miscellalieous Steel at 1.5 psi	10	ton	Subto		Ψ	100,030	\$	100,898	•	
			тота	L DIVISION (	)5				\$	805,751
VISION 06 - WOOD AND PLASTICS										
Millwork										
Solid Surface Countertop	36	lf	\$	175.00	\$	6,300				
Possible Upper & Lower Base Cabinet W/ Countertop	40	lf	\$	450.00	\$	18,000				
Possible Base Cabinet W/ Counter	18	lf	\$	350.00	\$	6,300				
Club Bar	27	lf	\$	400.00	\$	10,800				
SS Food Prep Table Quaintly Unknown	1	ea	\$	500.00	\$	500				
SS Work Counter	49	lf	\$	300.00	\$	14,700				
SS POS Position	20	lf	\$	300.00	\$	6,000				
Reception Desk	14	lf	\$	450.00	\$	6,300				
Ticket Counter	54	lf	\$	300.00	\$	16,200				
Counter	17	lf	\$	175.00	\$	2,975				
			Subto	otal			\$	88,075	•'	
Rough Carpentry/Blocking	04.400	,	•	0.50	•	40.000				
Rough Carpentry / Blocking	24,460	sf	\$ Subto	0.50 otal	\$	12,230	\$	12,230	•	
			ТОТА	L DIVISION (	)6				\$	100,305
VISION 07 - THERMAL & MOISTURE PROTECTION										
Insulation/Waterproofing										
Insulation/Weather Proofing at Exterior Skin	5,526	sf	\$	6.00	\$	33,156				
·			Subto	otal		·	\$	33,156	•	
Roofing										
Modified Bitumen Roofing	12,428	sf	\$	13.00	\$	161,564				
			Subto	otal			\$	161,564		

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428 sf

 Office Level
 12,032 sf

 24,460 sf

DESCRIPTION	QTY	UNIT	U	NIT COST	Ελ	CTENSION	SI	JBTOTAL		TOTAL
Metal										
Exterior Metal Panels	2,072	sf	\$	35.00	\$	72,520				
Canopy	335	sf	\$	55.00	\$	18,425				
Louvers	150	sf	\$	45.00	\$	6,750			_	
			Subt	otal			\$	97,695		
Caulking and Sealants										
Caulking and Sealants	24,460	sf	\$	2.10	\$	51,366	•	E4 000	-	
			Subt	otai AL DIVISION (	17		\$	51,366	\$	343,781
			1017	AL DIVISION O	'				Ψ	343,701
DIVISION 08 - DOORS AND GLAZING Glass and Glazing										
Curtainwall	1,382	sf	\$	95.00	\$	131,290				
Alum Frame Store Front	2,512	sf	\$	45.00	\$	113,040				
	_,	-	Subt		<u>*</u>	,	\$	244,330	-	
Exterior Doors										
Double Glass Entry Doors	2	pr	\$	6,500.00	\$	13,000				
Double Hollow Metal Exterior Doors	2	pr	\$	2,800.00	\$	5,600			_	
			Subt	otal			\$	18,600		
Interior Doors and Frames										
Office Single Glass	20	ea	\$	2,500	\$	50,000				
Corridor Single Glass	4	ea	\$	2,500	\$	10,000				
Storage/Jan Single	7	ea	\$	1,850		12,950				
Bathroom Single	6	ea	\$	1,850	\$	11,100				
Stair Single	1	ea	\$	2,120	\$	2,120				
Club Double Glass	6	ea	\$	4,500	\$	27,000				
Corridor Double Glass	3	ea	\$	4,500	\$	13,500				
Office Single	9	ea	\$	1,850	\$	16,650				
20' Overhead Coiling Door	1	ea	\$	7,500	\$	7,500				
20' Over Head Coiling Door Allow for Access Doors	1	ea Is	\$ \$	7,500 1,500.00	\$ \$	7,500 1,500				
Allow for Access Doors	'	15	Subt		Ψ	1,500	\$	159,820	•	
			TOTA	AL DIVISION (	8				\$	422,750
DIVISION 09 - FINISHES										
Partitions										
Office	538	lf	\$	115.00	\$	61,870				
High Impact Corridor	482	lf	\$	130.00	\$	62,660				
Mech/Elec/Storage Jan	213	lf	\$	115.00		24,495				
Stair	183	lf	\$	140.00		25,620				
Bathroom Surround	172	lf	\$	115.00		19,780				
Bathroom Chase	121	lf	\$	140.00		16,940				
Elevator	55	lf	\$	140.00		7,700				
Shell	66	lf	\$	105.00		6,930				
CMU	364 3,454	lf sf	\$ \$	238.00 8.00		86,632 27,632				
Solid Wall Backup - Studs & Sheathing										

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428
 sf

 Office Level
 12,032
 sf

 24,460
 sf

DESCRIPTION	QTY	UNIT	L	JNIT COST	EX	TENSION	S	UBTOTAL	TOTAL
Ceilings (Other than Gypboard)	4.700	,	•	5.50	•	0.000			
Washable Lay In Ceiling	1,760	sf	\$	5.50		9,680			
Open to Structure (paint)	5,350	sf	\$	1.00		5,350			
Lay-In Ceiling	10,030	sf	\$	4.50		45,135			
Custom Cloud Ceiling	3,940	sf	\$ Subt	12.00 total	\$	47,280	\$	107,445	
Paint / Wall Covering									
Paint Doors	1	ls	\$	2,850	\$	2,850			
Paint Frames	1	ls	\$	1,710		1,710			
Paint	46,000	sf	\$	1,710	\$	57,500			
Tile	900	sf	\$	10.00		9,000			
FRP	819	sf	\$		\$	4,914			
Wall Cover	200	sf	\$	4.50	\$	900			
Misc Painting	24,460	sf	\$	0.50		12,230			
MISC Failting	24,400	51	Subt		Ψ	12,230	\$	89,104	
Flooring									
Flooring - Carpet	12,000	sf	\$	5.00	\$	60,000			
Flooring - Carpet Flooring - Sealed Concrete	3,900	sf	\$ \$	2.00		7,800			
Flooring - Tile Ceramic	1,300	sf	\$	12.00		15,600			
Base - Rubber	3,310	If	\$	2.00		6,620			
Base - Tile	3,310	If	\$ \$	10.00	\$ \$	3,900			
Base - Wood	215	If	\$	6.00		1,290			
base - Wood	213	11	Subt		Ψ	1,290	\$	95,210	
			тот	AL DIVISION (	19			:	632,0
SION 10 - SPECIALTIES									
Signage									
Room and Directional Signage	24,460	allow	¢	0.40	¢	9,784			
Noom and Directional Oighage	24,400	allow	Subt		Ψ	3,704	\$	9,784	
Toilet Accessories									
Paper Towel Dispenser W/ Trash Receptacle	8	ea	\$	275.00	\$	2,200			
Grab Bar Set	8	ea	\$	255.00		2,040			
Mirror	46	lf	\$	65.00		2,990			
Small M mirror	2	ea	\$	145.00		290			
Sanitary Napkin Disposal	15	ea	\$	65.00		975			
Wall Mtd. Soap Dispenser	10	ea	\$	65.00		650			
Toilet Paper Dispenser	20	ea	\$	65.00		1,300			
ADA Ceiling Hung SS Partition	4	ea	\$	1,450.00		5,800			
Standard Ceiling Hung SS Partition	6	ea	\$	1,260.00		7,560			
Urinal Screen	1	ea	\$	450.00		450			
Floor Mounted ADA HDPE Toilet Partition	2		\$ \$	1,200.00		2,400			
Floor Mounted ADA RIDPE Toilet Partition	8	ea ea	\$ \$	1,000.00		8,000			
1 1001 MOUNTED Standard HDFE TOllet Fatulion	0	ca	Subt		Ψ	0,000	\$	34,655	
Miscellaneous Specialties									
Miscellaneous	24,460	sf	\$	0.15	\$	3,669			
				total			\$	3,669	

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428 sf

 Office Level
 12,032 sf

 24,460 sf

DESCRIPTION	QTY	UNIT	UNIT COST	EXTENSION	SUBTOTAL	-	TOTAL
Wall Protection							
Corner/Wall Guards	1	ls	\$ 3,500.00	\$ 3,500			
			Subtotal		\$ 3,5	00	
Fire Protection Specialties							
Fire Extinguishers and Cabinets	4	ea	\$ 300.00	\$ 1,200			
			Subtotal		\$ 1,2	00	
			TOTAL DIVISION 1	0		\$	52,808
DIVISION 11 - EQUIPMENT							
			Subtotal		\$ -		
				4	•	•	
			TOTAL DIVISION 1	1		\$	•
DIVISION 12 - FURNISHINGS							
Fixtures/Furnishings Allowance	1	allow	\$ 250,000.00 Subtotal	\$ 250,000	\$ 250,0	00	
					<b>V</b> 200,0		
			TOTAL DIVISION 1	2		\$	250,000
DIVISION 13 - SPECIAL CONSTRUCTION							
			Subtotal		\$ -	<del></del>	
			TOTAL DIVISION 1	3		\$	_
DIVISION 14 - CONVEYING  Passenger Elevators	1	ea	\$ 90,000.00	\$ 90,000			
· ·			Subtotal	· · · · · · · · · · · · · · · · · · ·	\$ 90,0	00	
			TOTAL DIVISION 1	4		\$	90,000
						·	,
DIVISION 21 - FIRE PROTECTION							
Fire Protection							
Sprinkler System	24,460	sf	\$ 3.50 Subtotal	\$ 85,610	\$ 85,6	10	
			Gubtotui		ψ 00,0		
			TOTAL DIVISION 2	1		\$	85,610
DIVISION 22 - PLUMBING							
Plumbing Equipment	24.422	,		05.040			
Plumbing Pumps/Equipment	24,460	sf	\$ 3.50	\$ 85,610	\$ 85,6	10	
			Gustotui		ψ 00,0		
Plumbing Fixtures	22		A 4000 00	¢ 00.000			
WC Urinal	22 5	ea ea	\$ 1,000.00 \$ 1,000.00	\$ 22,000 \$ 5,000			
MS-1	2	ea	\$ 1,000.00	\$ 5,000			
LAV	6	ea	\$ 2,300.00	\$ 4,500			

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428 sf

 Office Level
 12,032 sf

 24,460 sf

#### ESTIMATE DETAIL - NW ADDITION (OFFICE AND CONCOURSE)

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	UBTOTAL	TOTAL
Undercounter LAV	8	ea	\$	850.00	\$	6,800			
ADA Shower	1	ea	\$	1,850.00	\$	1,850			
Drinking Fountain w/Bottle Fill	2	ea	\$	2,500.00	\$	5,000			
Carriers	30	ea	\$	215.00	\$	6,450			
Rough-In Fixtures	46	ea	\$	750.00	\$	34,500			
Auto Flush - Water Closet	22	ea	\$	460.00	\$	10,120			
Auto Sensor for Sink	16	ea	\$	510.00		8,160			
				btotal			\$	111,080	
Sanitary Waste/Vent Piping									
Sanitary Waste & Vent Piping	24,460	sf	\$	3.00	\$	73,380			
Floor Drains/Floor Sinks	1	ls	\$	3,000		3,000			
			Su	btotal			\$	76,380	
Domestic Water									
Domestic Water Piping	24,460	sf	\$	4.00	\$	97,840			
			Su	btotal			\$	97,840	
Storm Drainage									
Storm Drainage	24,460	sf	\$ Su	2.00 btotal	\$	48,920	\$	48,920	
							·	.,.	
Miscellaneous						0 =0.4			
Testing	24,460	sf	\$	0.40		9,784			
Miscellaneous Plumbing	24,460	sf	\$ Su	1.00 btotal	\$	24,460	\$	34,244	
			то	TAL DIVISION 2	22				\$ 454,074
IVISION 23 - MECHANICAL HVAC									
CHW/HW Equipment									
HVAC	24,460	sf	\$	32.00	\$	782,720			
			Su	btotal			\$	782,720	
			то	TAL DIVISION 2	23				\$ 782,720
IVISION 26 - ELECTRICAL									
Secondary Distribution									
Switchgear/Distribution Panels/Panels/Transformers	24,460	sf	\$	6.25	\$	152,875			
Emergency Power	24,460	sf	\$	5.25	\$	128,415			
			Su	btotal			\$	281,290	
Motor Connections									
Motor and Equipment Connections	24,460	sf	\$ Su	1.50 btotal	\$	36,690	\$	36,690	
							•	-5,000	
Distribution Feeders/Motor and Equipment	24,460	sf	\$	2.00	\$	48,920			
Lighting Branch - Conduit/Wire	24,460	sf	\$	2.35	\$	57,481			
Power Branch - Conduit/Wire	24,460	sf	\$	4.00		97,840			
	21,100	٥.	Ψ	1.50	Ψ	51,010		204,241	

**Building Lighting** 

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428 sf

 Office Level
 12,032 sf

 24,460 sf

#### ESTIMATE DETAIL - NW ADDITION (OFFICE AND CONCOURSE)

DESCRIPTION	QTY	UNIT	UNIT CO	OST	E	KTENSION	SI	UBTOTAL	TOTAL
Delition I link tion	04.400		•	0.00	œ.	000 440			
Building Lighting	24,460	sf	\$	9.00		220,140			
Building Lighting Control	24,460	sf	\$ Subtotal	1.50	\$	36,690	\$	256,830	
			Subtotai				Ψ	230,030	
Devices									
Receptacles/Switches/Plug/Wiremold	24,460	sf	\$	1.75	\$	42,805			
			Subtotal				\$	42,805	
Lightning Protection and Grounding									
Lightning Protection	24,460	sf	\$	2.00	\$	48,920			
Grounding	24,460	sf	\$	0.80		19,568			
Ordanding	21,100	O.	Subtotal	0.00	Ψ	10,000	\$	68,488	
			TOTAL DIV	ISION 2	26				\$ 890,344
DIVISION 27 - COMMUNICATIONS									
Data									
Data	24,460	sf	\$	4.50	\$	110,070			
			Subtotal				\$	110,070	
Audio-Visual	04.400	,	٠	<b>5 00</b>	•	400 000			
Audio Visual - Equipment	24,460	sf	\$	5.00	\$	122,300			
Audio Visual - Rough-In	24,460	sf	\$ Subtotal	1.50	Þ	36,690	\$	158,990	
			Oubtotui				٧	100,550	
			TOTAL DIV	ISION 2	27				\$ 269,060
DIVISION 28 - SECURITY & FIRE ALARM									
Security Equipment/Cable									
Security	24,460	sf	\$	4.00	\$	97,840			
			Subtotal				\$	97,840	
Fire Alarm									
Fire Alarm	24,460	sf	\$	3.00	\$	73,380			
•	,		Subtotal				\$	73,380	
			TOTAL DIV	ISION 2	28				\$ 171,220
DIVISION 31 - EARTHWORK									
Earthwork									
Mass Fill	7,130	су	\$	18.00	\$	128,341			
Building Pad Construction - Top 2' of Fill	1,631	су	\$	12.00		19,568			
Termite Control	24,460	sf	\$	0.35		8,561			
			Subtotal				\$	156,470	
			TOTAL DIV	ISION 3	31				\$ 156,470
DIVISION 32 - EXTERIOR IMPROVEMENTS									
			Subtotal				\$	-	
			TOTAL DIV	ISION 3	32				\$ -

**DIVISION 33 - SITE UTILITIES** 

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

 Concourse Level
 12,428
 sf

 Office Level
 12,032
 sf

 24,460
 sf

DESCRIPTION	QTY	UNIT	U	NIT COST	EXT	ENSION	SL	JBTOTAL	TOTAL
Site Power Distribution									
SEE DIVISION 26 - ELECTRICAL									
Site Communications									
SEE DIVISION 27 - TELECOMMUNICATIONS									
Site Thermal Utilities									
SEE DIVISION 23 - HVAC									
Storm Drainage									
Storm Drainage	1	ls	\$	40,000		40,000			
Connections	1	ls	\$	3,500	\$	3,500			
			Subt	otal			\$	43,500	
Site Lighting									
Site Lighting	1	ls	\$		\$	40,000	_	40.000	
			Subt	otal			\$	40,000	
Fire/Domestic Water									
Domestic Water Line	200	lf	\$	65.00		13,000			
Fire Line	200	lf	\$	85.00		17,000			
Connections/BFP/Vault	1	ls	\$	5,000	\$	5,000			
			Subt	otal			\$	35,000	
Sanitary									
Sanitary Line to Existing	200	lf	\$	78.00		15,600			
Connect to Existing	1	ea	\$	1,500.00	\$	1,500			
Trenching /Backfill	200	lf	\$	25.00	\$	5,000			
			Subt	otal			\$	22,100	
			TOTA	AL DIVISION 33	3				\$ 140,600
			SUB	TOTAL CONS	TRUCT	ION			\$ 6,719,504
			SEE S	SUMMARY FOR	MARKU	PS			

SD Estimate - Coliseum Renovation & Addition September 5, 2018

Event Level South 12,042 sf 12,042 sf

DESCRIPTION	QTY	UNIT	UN	NIT COST		EXTENSION	S	UBTOTAL	TOTAL
DIVISION 01 - GENERAL REQUIREMENTS	3	mos							
Commissioning Coordination	13	wk	\$	2,500.00	¢	32,475			
Cleanup - Periodic	3	mo	\$	2,400.00		7,200			
Cleanup - Final Clean Interior/Glass	12,042	sf	\$	0.45		5,419			
Street Clean/Dumpster	13	wk	\$	500.00		6,495			
Allow for Mock-Ups	1	ls	\$	10,000.00	\$	10,000			
BIM Coordination	1	ls	\$	8,000.00		8,000			
Testing	1	allow	\$	5,000.00	,	BY OWNER			
Safety Meetings/Materials	3	mo	\$	1,100.00	\$	3,300			
Project Signage	1	ls	\$	4,000.00	\$	4,000			
Layout	12,042	sf	\$	0.55		6,623			
•	,		Subto			- ,	\$	83,512	
			тота	L DIVISION (	)1				\$ 83,512
DIVISION 02 - EXISTING CONDITIONS									
Demo Existing	12,042	sf	\$	12.00	\$	144,504			
			Subto	otal			\$	144,504	
			TOTA	L DIVISION (	)2				\$ 144,504
DIVISION 03 - CONCRETE									
Miscellaneous Concrete	10.010	,	•	4.50	•	40.000			
Concrete Repairs	12,042	sf	\$	1.50	\$	18,063	_	40.000	
			Subto	otai			\$	18,063	
			TOTA	L DIVISION (	)3				\$ 18,063
DIVISION 04 - MASONRY									
			Subto	otal			\$	-	
			TOTA	L DIVISION (	)4				\$ -
DIVISION 05 - METALS Miscellaneous									
Miscellaneous Steel at 0.75 psf	5	ton	\$	5,500.00	\$	24,837			
			Subto	otal			\$	24,837	
			TOTA	L DIVISION (	)5				\$ 24,837
DIVISION 06 - WOOD AND PLASTICS									
Millwork	^-	16	•	475.00	•	A 175			
Solid Surface Countertop	37	lf .c	\$	175.00		6,475			
Solid Surface Countertop	14	lf 'r	\$	175.00		2,450			
Solid Surface Countertop	4	lf	\$	175.00		700			
·	1	ea	\$	350.00	\$	350			
10 If Plam Counter Top W/ Base Cabinet	'		Subto	otal			\$	9,975	
10 If Plam Counter Top W/ Base Cabinet	'		Subto	otal			\$	9,975	
·	12,042	sf	Subto	otal 0.50	\$	6,021	\$	9,975	

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

Event Level South 12,042 sf 12,042 sf

DESCRIPTION	QTY	UNIT	UNIT (	COST	E	KTENSION	Sl	JBTOTAL		TOTAL
			TOTAL D	IVISION (	16				\$	15,996
VISION 07 - THERMAL & MOISTURE PROTECTION										
Caulking and Sealants										
Caulking and Sealants	12,042	sf	\$	2.10	\$	25,288			_	
			Subtotal				\$	25,288		
			TOTAL D	IVISION (	)7				\$	25,288
VISION 08 - DOORS AND GLAZING										
Exterior Door			_							
10' OHD	2	ea	\$	4,500		9,000				
Mech Double	1	ea	\$	2,110		2,110				
Mech Single	2	ea	\$	1,850	\$	3,700				
Interior Doors and Frames										
Locker Room Single	8	ea	\$	1,850		14,800				
Office Single	1	ea	\$	1,850		1,850				
Electrical Single	2	ea	\$	1,850		3,700				
Stair Single	1	ea	\$	2,120		2,120				
Mech Double	3	ea	\$	2,110		6,330				
Electrical Single	1	ea	\$ Subtotal	1,850	\$	1,850	\$	45,460	-	
			Oubtotai				Ψ	45,400		
Interior Glazing										
Storefront	72	sf	\$ Subtotal	45.00	\$	3,240	\$	3,240	-	
			TOTAL D	IVISION (	10		*	0,210	\$	48,700
			IOIALD	IVISION					Ψ	40,700
VISION 09 - FINISHES										
Partitions					_					
CMU	1,137	lf	\$ Subtotal	238.00	\$	270,606	\$	270,606	-	
Ceilings (Other than Gypboard)										
Ceilings - Acoustical Tile	1,560	sf	\$	5.50	\$	8,580				
Exposed - Paint	8,422	sf	\$	2.00		16,844				
Epoxy Paint Gyp	1,430	sf	\$	11.00		15,730				
Epony i ann Opp	1,100	O1	Subtotal	11.00	Ψ	10,700	\$	41,154	-	
Paint / Wall Covering										
Paint Doors	1	ls	\$	1,575	\$	1,575				
Paint Frames	1	ls	\$	945		945				
Paint	12,042	sf	\$	1.00		12,042			_	
			Subtotal				\$	14,562		
Flooring										
Flooring - Carpet	140	sf	\$	5.00		700				
Flooring - Sealed Concrete	9,850	sf	\$	2.00		19,700				
Flooring - Tile Slip Resistant	1,430	sf	\$	13.00	\$	18,590				
Base - Rubber	1,840	lf	\$	2.00	\$	3,680				

SD Estimate - Coliseum Renovation & Addition September 5, 2018

Event Level South 12,042 sf 12,042 sf

DESCRIPTION	QTY	UNIT	UN	NIT COST	E	KTENSION	Sl	JBTOTAL		TOTAL
			Subto	otal			\$	46,780		
			тота	L DIVISION (	9				\$	373,102
DIVISION 10 - SPECIALTIES										
Signage										
Room and Directional Signage	12,042	allow		0.40	\$	4,817			-	
			Subto	tal			\$	4,817		
Toilet Accessories										
Mirror	56	lf	\$	65.00	\$	3,640				
Official Locker Full Height Powder Coated	10	ea	\$	375.00	\$	3,750				
Aux Locker Full Height Powder Coated	60	ea	\$	375.00	\$	22,500				
Floor Mounted ADA HDPE Toilet Partition	6	ea	\$	1,200.00	\$	7,200				
Floor Mounted Standard HDPE Toilet Partition	4	ea	\$	1,000.00	\$	4,000				
Paper Towel Dispenser W/ Trash Receptacle	7	ea	\$	275.00	\$	1,925				
Grab Bar Set	7	ea	\$	255.00	\$	1,785				
Toilet Paper Dispenser	11	ea	\$	65.00	\$	715				
Sanitary Napkin Disposal	11	ea	\$	65.00	\$	715				
Wall Mtd. Soap Dispenser	13	ea	\$	65.00	\$	845				
·			Subto	tal			\$	47,075	-	
Miscellaneous Specialties										
Miscellaneous	12,042	sf	\$	0.15	\$	1,806				
	,		Subto		<u> </u>	,	\$	1,806	-	
Wall Protection										
Corner/Wall Guards	1	ls	\$	1,500.00	\$	1,500				
			Subto	otal			\$	1,500	=	
Fire Protection Specialties										
Fire Extinguishers and Cabinets	2	ea	\$	300.00	\$	600				
			Subto				\$	600	=	
			тота	L DIVISION 1	0				\$	55,798
DIVISION 21 - FIRE PROTECTION										
Fire Protection										
Sprinkler System - Relocate Heads	12,042	sf	\$	1.50	\$	18,063			_	
			Subto	tal			\$	18,063		
			TOTA	L DIVISION 2	21				\$	18,063
DIVISION 22 - PLUMBING										
Plumbing Equipment										
Plumbing Pumps/Equipment	12,042	sf	\$	1.00	\$	12,042				
			Subto			· · · · · · · · · · · · · · · · · · ·	\$	12,042	-	
Plumbing Fixtures										
WC	11	ea	\$	1,000	\$	11,000				
	1.1	ou	¥		Ψ	11,000				
Shower	4	ea	\$	1,500	\$	6,000				

Event Level South 12,042 sf 12,042 sf

DESCRIPTION	QTY	UNIT	UN	IIT COST		EXTENSION	SI	UBTOTAL	TOTAL
Laura Ouarth	40		•	050	¢	10.250			
Lav no Quantity	19	ea	\$	650	\$	12,350			
Drinking Fountain w/Bottle Fill	1	ea	\$	2,500.00	\$	2,500			
Carriers	11	ea	\$	215.00	\$	2,365			
Rough-In Fixtures	40	ea	\$	750.00	\$	30,000			
Auto Flush - Water Closet Auto Sensor for Sink	11 19	ea	\$ \$	460.00 510.00	\$ \$	5,060 9,690			
Auto Sensor for Sink	19	ea	Subto		φ	9,090	\$	90,065	
Sanitary Waste/Vent Piping	10.010								
Sanitary Waste & Vent Piping	12,042	sf	\$	3.00		36,126			
Floor Drains/Floor Sinks	1	ls	\$ Subto	3,000	\$	3,000	\$	39,126	
			Oubto	tai			Ψ	33,120	
Domestic Water									
Domestic Water Piping	12,042	sf	\$ Subto	4.00	\$	48,168	\$	48,168	
			Subto	lai			Þ	40,100	
Storm Drainage									
Storm Drainage	12,042	sf	\$	2.00	\$	24,084	•	04.007	
			Subto	tal			\$	24,084	
Miscellaneous									
Testing	12,042	sf	\$	0.40	\$	4,817			
Miscellaneous Plumbing	12,042	sf	\$	1.00	\$	12,042			
-			Subto	tal			\$	16,859	
			TOTA	L DIVISION 2	22				\$ 230,34
ISION 23 - MECHANICAL HVAC									
CHW/HW Equipment									
HVAC	24,460	sf	\$	32.00	\$	782,720			
			Subto	tal			\$	782,720	
			TOTA	L DIVISION 2	23				\$ 782,72
ISION 26 - ELECTRICAL									
Secondary Distribution									
Work at Existing Panels	1	ls	\$	5,000.00	\$	5,000			
			Subto	tal			\$	5,000	
Motor Connections									
Motor and Equipment Connections	12,042	sf	\$	0.50	\$	6,021			
			Subto	tal			\$	6,021	
Distribution									
Lighting Branch - Conduit/Wire	12,042	sf	\$	2.35	\$	28,299			
Power Branch - Conduit/Wire	12,042	sf	\$	4.00		48,168			
2 23	12,042	J.	Subto		<u> </u>	10,100	\$	76,467	
Duilding Lighting									
Building Lighting Building Lighting	12 በ42	sf	\$	9 00	\$	108 378			
Building Lighting Building Lighting Building Lighting Control	12,042 12,042	sf sf	\$ \$	9.00 0.50		108,378 6,021			

Event Level South 12,042 sf 12,042 sf

DESCRIPTION	QTY	UNIT	UNIT CO	OST	EX	TENSION	SL	JBTOTAL		TOTAL
Devices Receptacles/Switches/Plug/Wiremold	12,042	sf	\$	1.50	\$	18,063			_	
			Subtotal				\$	18,063		
			TOTAL DIV	VISION 2	6				\$	219,950
DIVISION 27 - COMMUNICATIONS Data										
Data	12,042	sf	\$	2.00	\$	24,084			_	
			Subtotal				\$	24,084		
			TOTAL DIV	VISION 2	7				\$	24,084
DIVISION 28 - SECURITY & FIRE ALARM										
Security Equipment/Cable										
Security	12,042	sf	\$ Subtotal	2.50	\$	30,105	\$	30,105	-	
			Subtotal				Ą	30,103		
Fire Alarm										
Fire Alarm	12,042	sf	\$ Subtotal	2.65	\$	31,911	\$	31,911	-	
			Subtotal				Ą	31,311		
			TOTAL DIV	VISION 2	8				\$	62,016
			SUB TOTA	AL CONS	TRUC	TION			\$	2,126,977
			SEE SUMM	ARY FOR	MARK	UPS				

 West Amenity Addition
 17,994
 sf

 17,994
 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL WEST AMENITY ADDITION - EXPANDED

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	SI	UBTOTAL	TOTAL
DIVISION 01 - GENERAL REQUIREMENTS	6.5	mos							
Commissioning Coordination	28	wk	\$	2,500.00	\$	70,363			
Cleanup - Periodic	7	mo	\$	2,400.00		15,600			
Cleanup - Final Clean Interior/Glass	17,994	sf	\$	0.45		8,097			
Street Clean/Dumpster	28	wk	\$	500.00		14,073			
Allow for Mock-Ups	1	ls	\$	10,000.00		10,000			
BIM Coordination	1	ls	\$	8,000.00		8,000			
Testing	1	allow	\$	5,000.00		BY OWNER			
Safety Meetings/Materials	7	mo	\$	1,100.00		7,150			
Project Signage	1	ls	\$	4,000.00		4,000			
	17,994	sf	φ \$	0.55		9,897			
Layout	17,994	51	_	ıbtotal	φ	9,091	\$	147,179	
			TC	OTAL DIVISION (	01			·	\$ 147,179
DIVISION 02 - EXISTING CONDITIONS									
General Demolition	17,994	ls	\$	12.00	\$	215,928			
			_	ıbtotal			\$	215,928	
			TC	OTAL DIVISION (	)2				\$ 215,928
DIVISION 03 - CONCRETE									
Drilled Piers									
Piers - 24/48 x 20' Deep	49	ea	\$	1,710.00	\$	83,764			
Pier Casing	980	lf	\$	45.00	\$	44,087			
Haul Spoils	101	су	\$	10.00	\$	1,010			
			Sı	ıbtotal			\$	128,861	
Grade Beams									
Perimeter Grade Beams - 18" x 30"	646	lf	\$	80.00	\$	51,680			
Grade Beam Void Forms	646	lf	\$	8.00	\$	5,168			
Grade Beam Soil Retainers	1,292	lf	\$	8.50	\$	10,982			
			Sı	ıbtotal			\$	67,830	
Slabs									
5" Slab on Grade	17,994	sf	\$	6.50	\$	116,961			
			Sı	ıbtotal			\$	116,961	
Miscellaneous Concrete									
Misc Concrete	17,994	sf	\$	0.75	\$	13,496			
			Sı	ıbtotal			\$	13,496	
			TC	OTAL DIVISION (	03				\$ 327,147
DIVISION 04 - MASONRY									
Face Brick	7,264	sf	\$	26.00		188,864			
Scaffolding	9,280	sf	\$	2.60	\$	24,128			
			Sı	ıbtotal			\$	212,992	
			TC	OTAL DIVISION (	)4				\$ 212,992

SD Estimate - Coliseum Renovation & Addition

September 5, 2018	West Amenity Addition 17	,994	sf
	17	.994	sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL WEST AMENITY ADDITION - EXPANDED

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	UBTOTAL	TOTAL
DIVISION 05 - METALS									
Structural									
Steel Framing at 8.5 psf	76	ton	\$	4,100.00	\$	313,545			
Hoisting	2.5	mos	\$	45,000.00	\$	112,500			
Roof Deck	17,994	sf	\$	3.50	\$	62,979			
			Sul	ototal			\$	489,024	
Miscellaneous									
Miscellaneous Steel at 1.5 psf	13	ton	\$	5,500.00	\$	74,225			
inicos inicos de cicos de 1.0 por	10	ton		ototal	<u> </u>	7 1,220	\$	74,225	
			TO <sup>-</sup>	TAL DIVISION (	)5				\$ 563,25
DIVISION 06 - WOOD AND PLASTICS									
Millwork									
Bar	22	lf	\$	400.00	2	8,800			
Liquor Storage	23	ı. If	\$	300.00		6,900			
SS Serving Area	28	lf 	\$	300.00		8,400			
SS Counter	177	lf	\$	300.00		53,100			
SS Counter POS	80	lf	\$	300.00		24,000			
Soiled Surface Countertop Under Mounted Lav	159	lf	\$	175.00	\$	27,825			
			Sub	ototal			\$	129,025	
Rough Carpentry/Blocking									
Rough Carpentry / Blocking	17,994	sf	\$	0.50	\$	8,997			
			Sul	ototal			\$	8,997	
			TO <sup>-</sup>	TAL DIVISION (	06				\$ 138,02
DIVISION 07 - THERMAL & MOISTURE PROTECTION									
Insulation/Waterproofing									
Insulation/Weather Proofing at Exterior Skin	7,264	sf	\$	6.00	\$	43,584			
•			Sul	ototal			\$	43,584	
Roofing									
Modified Bitumen Roofing	17,994	sf	\$	13.00	\$	233,922			
•			Sul	ototal			\$	233,922	
Caulking and Sealants									
Caulking and Sealants	17,994	sf	\$	2.10	\$	37,787			
cadming and coddino	11,001	O.		ototal	Ψ_	01,101	\$	37,787	
			TO <sup>-</sup>	TAL DIVISION (	07				\$ 315,29
DIVISION 08 - DOORS AND GLAZING									
Glass and Glazing Curtainwall	1,520	sf	\$	95.00	e	144,400			
	1.5/0	SI	.75	45 U()	٠.	144 400			

 West Amenity Addition
 17,994
 sf

 17,994
 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL WEST AMENITY ADDITION - EXPANDED

DESCRIPTION	QTY	UNIT	U	NIT COST	EXTENSION		SUBTOTAL		TOTAL
Exterior Doors									
Double Glass Entry Doors	20	pr	\$	6,500.00	\$	130,000			
·		·	Subt			•	\$	130,000	
Interior Doors and Frames									
Single Janitor	2	ea	\$	1,850	\$	3,700			
Single Storage	2	ea	\$	1,850	\$	3,700			
Double Glass	2	ea	\$	4,500		9,000			
Single Concession	3	ea	\$	1,850		5,550			
Single Bathroom	2	ea	\$	1,850		3,700			
Double Glass	2	ea	\$	4,500		9,000			
40' Over Head Coiling Door	1	ea	\$	22,000		22,000			
20' Over Head Coiling Door	2	ea	\$	11,000		22,000			
Single Glass	1	ea	\$	2,500		2,500			
22' Over Head Coiling Door	1	ea	\$	12,000		12,000			
Allow for Access Doors	1	ls	\$	2,100.00		2,100			
7 IION 101 7 00000 20010		10	Subt		•	2,100	\$	95,250	
Interior Glazing									
Alum Frame Storefront Glass	440	sf	\$	45.00	\$	19,800			
			Subt	otal			\$	19,800	
			TOT	AL DIVISION (	8				\$ 389,4
ON 09 - FINISHES									
Partitions									
CMU	930	lf	\$	238.00	\$	221,340			
CMU Chase	390	lf	\$	140.00	\$	54,600			
CMU Double	384	lf	\$	410.00	\$	157,440			
Solid Wall Backup - Studs & Sheathing	7,264	sf	\$ Subt	8.00	\$	58,112	\$	491,492	
			Jubi	Otai			φ	491,492	
Ceilings (Other than Gypboard)		_							
Washable Lay In Ceiling	2,090	sf	\$		\$	11,495			
Ceilings - Acoustical Tile	11,085	sf	\$	5.50	\$	60,968			
Ceilings - Gyp & Lay In	2,940	sf	\$	6.00	\$	17,640			
Exposed - Paint	160	sf	\$ S::b4	2.00	\$	320	\$	00.422	
			Subt	otai			Þ	90,423	
Paint / Wall Covering									
Paint Doors	1	ls	\$	1,350		1,350			
Paint Frames	1	ls	\$	810		810			
Paint	17,994	sf	\$ Subt	1.00 otal	\$	17,994	\$	20,154	
Flooring									
Flooring - Carpet Tile	2,940	sf	\$	5.00	\$	14,700			
Flooring - Sealed Concrete	13,030	sf	\$	2.00		26,060			
riboring - ocalca contricte									
Flooring - Porcelain	390	sf	\$	12.00		4,680			

 September 5, 2018
 West Amenity Addition
 17,994 sf

 17,994 sf
 sf

#### ESTIMATE DETAIL - CONCOURSE LEVEL WEST AMENITY ADDITION - EXPANDED

DESCRIPTION	QTY	UNIT	U	INIT COST	E	XTENSION	Sl	JBTOTAL	TOTAL
Base - Rubber	2,600	lf	\$	2.00	\$	5,200			
Base - Wood	480	lf	\$	6.00	\$	2,880			
Base - Tile	228	lf	\$		\$	2,280			
			Subt	otal			\$	59,316	
			TOT	AL DIVISION 0	9				\$ 661,385
DIVISION 10 - SPECIALTIES									
Signage									
Room and Directional Signage	17,994	allow	\$ Subt	0.40	\$	7,198	\$	7,198	
			Subi	otai			Þ	7,190	
Toilet Accessories									
Floor Mounted HDPE Toilet Partition ADA	8	ea	\$	1,200.00		9,600			
Floor Mounted HDPE Toilet Partition Standard	40	ea	\$	•		40,000			
Urinal Screen	13	ea	\$			5,850			
Ceiling Hung ADA SS Toilet Partition	2	ea	\$	1,450.00	\$	2,900			
Ceiling Hung Standard SS Toilet Partition	4	ea	\$	1,260.00		5,040			
Mirror	158	lf	\$	65.00	\$	10,270			
Floor Mounted HDPE Toilet Partition ADA	10	ea	\$	1,000.00	\$	10,000			
Paper Towel Dispenser W/ Trash Receptacle	14	ea	\$	65.00	\$	910			
Wall Mtd. Soap Dispenser	30	ea	\$	65.00	\$	1,950			
Toilet Paper Dispenser	54	ea	\$	65.00	\$	3,510			
Sanitary Napkin Disposal	19	ea	\$ Subt	65.00	\$	1,235	\$	91,265	
			Oubl	otai			Ψ	31,203	
Wall Protection									
Corner/Wall Guards	1	ls	\$ Subt	1,500.00	\$	1,500	\$	1,500	
			Oubt	otui			•	1,000	
Fire Protection Specialties	0		•	200.00	•	000			
Fire Extinguishers and Cabinets	2	ea	\$ Subt	300.00	Þ	600	\$	600	
			TOTA	AL DIVISION 1	0				\$ 100,563
DIVIDION 44 FOURIERT									•
DIVISION 11 - EQUIPMENT									
			Subt	otal			\$	-	
			TOT	AL DIVISION 1	1				\$ -
DIVISION 12 - FURNISHINGS									
Fixtures/Furnishings Allowance	1	allow	\$	250,000.00	\$	250,000	\$	250,000	
				AL DIVISION 1			+	,	250,000

DIVISION 21 - FIRE PROTECTION Fire Protection

SD Estimate - Coliseum Renovation & Addition

 September 5, 2018
 West Amenity Addition
 17,994
 sf

 17,994
 sf

ESTIMATE DETAIL -	<ul> <li>CONCOURSE LEVEL</li> </ul>	WEST AMENITY	ADDITION - EXPANDED
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DESCRIPTION	QTY		UNIT COST		EXTENSION		N SUBTOTAL			TOTAL
Sprinkler System	17,994	sf	\$	3.50	\$	62,979				
opinino ojou.ii	17,501	O.	Subtotal	0.00	Ψ	02,010	\$	62,979	•	
			TOTAL D	IVISION 2	21				\$	62,979
ISION 22 - PLUMBING										
Plumbing Equipment										
Plumbing Pumps/Equipment	17,994	sf	\$	1.50	\$	26,991				
			Subtotal				\$	26,991		
Plumbing Fixtures										
WC	32	ea	\$	1,000	\$	32,000				
Urinal	8	ea	\$	1,000	\$	8,000				
Lav Assumed Quantity	35	ea	\$	650	\$	22,750				
MS-1	3	ea	\$	2,500	\$	7,500				
Under Mounted Lav Assumed Quaintly	8	ea	\$	750	\$	6,000				
Carriers	40	ea	\$	215.00	\$	8,600				
Rough-In Fixtures	86	ea	\$	750.00	\$	64,500				
Auto Flush - Water Closet	32	ea	\$	460.00	\$	14,720				
Auto Sensor for Sink	43	ea	\$	510.00	\$	21,930				
			Subtotal				\$	186,000		
Sanitary Waste/Vent Piping										
Sanitary Waste & Vent Piping	17,994	sf	\$	5.00		89,970				
Floor Drains/Floor Sinks	1	ls	\$ Subtotal	3,000	\$	3,000	\$	92,970		
			Subtotal				Ψ	32,310		
Domestic Water										
Domestic Water Piping	17,994	sf	\$ Subtotal	4.00	\$	71,976	\$	71,976	•	
Storm Drainage										
Storm Drainage	17,994	sf	\$	2.00	\$	35,988				
			Subtotal				\$	35,988	•	
Miscellaneous										
Testing	17,994	sf	\$	0.40	\$	7,198				
Miscellaneous Plumbing	17,994	sf	\$	1.00	\$	17,994				
			Subtotal				\$	25,192		
			TOTAL D	IVISION 2	22				\$	439,117
ISION 23 - MECHANICAL HVAC										
CHW/HW Equipment										
HVAC	17,994	sf	\$	32.00	\$	575,808				
			Subtotal				\$	575,808		

**DIVISION 26 - ELECTRICAL** 

 West Amenity Addition
 17,994
 sf

 17,994
 sf

## ESTIMATE DETAIL - CONCOURSE LEVEL WEST AMENITY ADDITION - EXPANDED

DESCRIPTION	QTY	UNIT	UNIT C	OST	EX	CTENSION	SI	JBTOTAL		TOTAL
Secondary Distribution										
Switchgear/Distribution Panels/Panels/Transformers	17,994	sf	\$	6.25	\$	112,463				
	,00	0.	Subtotal	0.20	<u> </u>	,	\$	112,463		
Motor Connections										
Motor and Equipment Connections	17,994	sf	\$	1.50	\$	26,991				
			Subtotal				\$	26,991		
Distribution										
Feeders/Motor and Equipment	17,994	sf	\$	2.00	\$	35,988				
Lighting Branch - Conduit/Wire	17,994	sf	\$	2.35	\$	42,286				
Power Branch - Conduit/Wire	17,994	sf	\$	4.00	\$	71,976				
			Subtotal				\$	150,250		
Building Lighting										
Building Lighting	17,994	sf	\$	9.00	\$	161,946				
Building Lighting Control	17,994	sf	\$	1.50	\$	26,991				
			Subtotal				\$	188,937		
Devices										
Receptacles/Switches/Plug/Wiremold	17,994	sf	\$	1.75	\$	31,490				
			Subtotal				\$	31,490		
Lightning Protection and Grounding										
Lightning Protection	17,994	sf	\$	1.50		26,991				
Grounding	17,994	sf	\$ Subtotal	0.80	\$	14,395	\$	41,386		
			TOTAL DIV	/ISION 1	06			•	¢	551,5
			TOTAL DIV	/ISION 2	20				\$	331,3
ION 27 - COMMUNICATIONS Data										
Data	17,994	sf	\$	4.00	\$	71,976				
			Subtotal				\$	71,976		
			TOTAL DIV	ISION 2	27				\$	71,9
ION 28 - SECURITY & FIRE ALARM										
Security Equipment/Cable										
Security	17,994	sf	\$	3.50	\$	62,979				
,			Subtotal		-	·	\$	62,979		
Fire Alarm										
Fire Alarm	17,994	sf	\$	2.65	\$	47,684				
•			Subtotal				\$	47,684		

**DIVISION 31 - EARTHWORK** 

 Otember 5, 2018
 West Amenity Addition
 17,994 sf

 17,994 sf

## ESTIMATE DETAIL - CONCOURSE LEVEL WEST AMENITY ADDITION - EXPANDED

DESCRIPTION	QTY	UNIT	UN	NIT COST	E	XTENSION	SL	JBTOTAL		TOTAL
Earthwork										
Building Pad Construction	1,200	су	\$	25.00	\$	29,990				
Termite Control	17,994	sf	\$	0.35		6,298				
	,		Subto			•	\$	36,288	-	
			тота	L DIVISION 3	31				\$	36,288
SION 33 - SITE UTILITIES										
Site Power Distribution										
SEE DIVISION 26 - ELECTRICAL										
Site Communications										
SEE DIVISION 27 - TELECOMMUNICATIONS										
Site Thermal Utilities										
SEE DIVISION 23 - HVAC										
Storm Drainage										
Storm Drainage	1	ls	\$	40,000	\$	40,000				
Connections	1	ls	\$	3,500	\$	3,500			_,	
			Subto	otal			\$	43,500		
Site Lighting										
Site Lighting	1	ls	\$	40,000	\$	40,000			_	
			Subto	otal			\$	40,000		
Fire/Domestic Water										
Domestic Water Line	200	lf	\$	65.00		13,000				
Fire Line	200	lf	\$	85.00		17,000				
Connections/BFP/Vault	1	ls	\$ Subto	5,000	\$	5,000	\$	35,000	-	
			Gusto				•	00,000		
Sanitary										
Sanitary Line to Existing	200	lf	\$	78.00		15,600				
Connect to Existing	1	ea	\$	1,500.00		1,500				
Trenching /Backfill	200	lf	\$ Subto	25.00 otal	\$	5,000	\$	22,100	-	
							,	,	•	440.00
			IUIA	L DIVISION 3	53				\$	140,60
			SUB	TOTAL CONS	STRU	CTION			\$	5,310,15

Bunker Club 9,340 sf 9,340 sf

DESCRIPTION	QTY	UNIT		JNIT COST		EXTENSION	5	UBTOTAL		TOTAL
DIVISION 01 - GENERAL REQUIREMENTS	7	mos								
Commissioning Coordination	30	wk	\$	2,500.00	\$	75,775				
Cleanup - Periodic	7	mo	\$		\$	16,800				
Cleanup - Final Clean Interior/Glass	9,340	sf	\$	0.45		4,203				
Street Clean/Dumpster	30	wk	\$		\$	15,155				
Allow for Mock-Ups	1	ls	\$	15,000.00		15,000				
BIM Coordination	1	ls	\$ \$	30,000.00		30,000				
Testing	1	allow	\$ \$	30,000.00	φ	BY OWNER				
Safety Meetings/Materials	7	mo	\$	1,100.00	Ф	7,700				
Project Signage	1	ls	\$ \$		φ \$	4,000				
		sf	\$ \$							
Layout	9,340	SI	Sub	0.55 total	Ф	5,137	\$	173,770	-	
			тот	AL DIVISION (	1				\$	173,77
DIVISION 02 - EXISTING CONDITIONS										
Seating Bowl Demolition	9,400	sf	\$	18.00	\$	169,200				
General Demolition	1	ls	\$	50,000.00		50,000				
			Sub		<u> </u>		\$	219,200	-	
			тот	AL DIVISION (	2				\$	219,20
DIVISION 03 - CONCRETE										
Drilled Piers										
Piers - 24/48 x 20' Deep	27	ea	\$	1,710.00	\$	46,769				
Pier Casing	547	lf	\$	45.00	\$	24,615				
Haul Spoils	81	су	\$ Sub	10.00	\$	810	•	72,194	-	
			Sub	iotai			\$	72,194		
Grade Beams										
Perimeter Grade Beams - 18" x 30"	370	lf	\$	80.00	\$	29,600				
Grade Beam Void Forms	370	lf	\$	8.00	\$	2,960				
Grade Beam Soil Retainers	740	lf	\$ Sub	8.50	\$	6,290	\$	38,850	-	
			Oub	.otai			٧	00,000		
Slabs 5" Slab on Grade	9,340	sf	\$	6.50	\$	60,710				
			Sub	total			\$	60,710		
Elevated Concrete										
Flat Deck at Concourse Level	3,500	sf	\$	30.00		105,000				
Replace Seating Bowl (Raker Beams/Treads/Risers)	6,270	sf	\$ Sub	120.00	\$	752,400	\$	857,400	-	
			Jub				۳	001, <del>1</del> 00		
Miscellaneous Concrete			•	0.500.05	•	A = A =				
Elevator Pits	1	ea	\$	8,500.00		8,500				
Permanent Soil Retention System	7,500	sf	\$	45.00		337,500				
8" Concrete Walls at Soil Retention	7,500	sf	\$	25.00		187,500				
Wall Footing	375	lf	\$	45.00		16,874				
Misc Concrete	9,340	sf	\$	0.75	Œ.	7,005				

September 5, 2018

Bunker Club 9,340 sf 9,340 sf

DESCRIPTION	QTY	UNIT	UNIT COST	EXTENSION	SU	BTOTAL		TOTAL
			TOTAL DIVISION 03	1			\$	1,586,533
DIVISION 04 - MASONRY			Subtotal		•			
			Subtotal		\$	•		
			TOTAL DIVISION 04	ļ			\$	-
DIVISION 05 - METALS								
Stairs & Metal Railings Interior Stairs - Monumental	25	riaara	¢ 1,200,00	ф 40.000				
menor Stans - Monumental	35	risers	\$ 1,200.00 Subtotal	\$ 42,000	\$	42,000	•	
Structural								
Steel Framing at 4 psf	19	ton	\$ 4,100.00	\$ 76,588				
			Subtotal		\$	76,588		
Miscellaneous	_			• • • • • • • • • • • • • • • • • • • •				
Miscellaneous Steel at 1.5 psf	7	ton	\$ 5,500.00 Subtotal	\$ 38,528	\$	38,528		
			TOTAL DIVISION 05	i			\$	157,116
DIVISION 06 - WOOD AND PLASTICS								
Millwork								
Solid Surface Countertop	15	lf	\$ 175	\$ 2,625				
Bar	38	lf	\$ 300					
Serving Counter	10	lf	\$ 350					
SS Food Prep Area Table Quantity Unknow	1	ea	\$ 10,000 Subtotal	\$ 10,000	\$	27,525	<b>.</b>	
Rough Carpentry/Blocking								
Rough Carpentry / Blocking	9,340	sf	\$ 0.50	\$ 4,670				
			Subtotal		\$	4,670	•	
			TOTAL DIVISION 06	i			\$	32,195
DIVISION 07 - THERMAL & MOISTURE PROTECTION								
Insulation/Waterproofing	7 500	of	¢ 7.50	¢ 56.250				
Waterproof Subgrade Walls	7,500	sf	\$ 7.50 Subtotal	\$ 56,250	\$	56,250	•	
Caulking and Sealants								
Caulking and Sealants	9,340	sf	\$ 2.10	\$ 19,614		40.044		
			Subtotal		\$	19,614		
			TOTAL DIVISION 07	•			\$	75,864
DIVISION 08 - DOORS AND GLAZING								
Interior Doors and Frames Bathroom Single	2	63	\$ 1,850	\$ 3,700				
Ballilooni Single	2	ea						
Storage Double	1	ea	\$ 2,110	\$ 2,110				

 Bunker Club
 9,340 sf

 9,340 sf

DESCRIPTION	QTY	UNIT	UN	IT COST	EXT	ENSION	SU	BTOTAL	TOTAL
Single Glass	1	ea	\$	2,500	\$	2,500			
Allow for Access Doors	1	ls	\$	1,500.00		1,500			
7 WOW 101 7 100000 D0010	ı	10	Subtot		Ψ	1,000	\$	18,810	
Interior Observe									
Interior Glazing	360	ot.	¢	45.00	¢	16 200			
Interior Glass	360	sf	\$ Subtot	45.00 tal	<b></b>	16,200	\$	16,200	
			TOTAL	_ DIVISION 08	3			,	\$ 35,01
/ISION 09 - FINISHES									
Partitions									
Elevator	103	If	\$	140.00	¢	14,420			
Bathroom Chase	43	If	\$ \$	140.00		6,020			
Bathroom Surround	104	If	\$ \$	115.00		11,960			
	67								
Storage	188	If	\$	115.00 130.00		7,705			
High Impact Corridor		lf .c	\$			24,440			
Stairs	89	lf .c	\$	140.00		12,460			
Tunnel	108	lf	\$ Subtot	130.00 tal	<b></b>	14,040	\$	91,045	
Ceilings (Other than Gypboard)			_						
Ceilings - Acoustical Tile	642	sf	\$	5.50		3,531			
Premium Lay In Ceiling	2,590	sf	\$		\$	15,540			
Lay In Ceiling Washable	942	sf	\$		\$	5,652			
Exposed - Paint	400	sf	\$ Subtot	1.00 tal	\$	400	\$	25,123	
							•	,,	
Paint / Wall Covering									
Paint Doors	1	ls	\$		\$	450			
Paint Frames	1	ls	\$		\$	270			
Paint	9,340	sf	\$		\$	9,340			
FRP	1,030	sf	\$ Subtot		\$	6,180	\$	16,240	
FIG. 10									
Flooring Flooring - Carpet Tile	3,230	sf	\$	5.00	\$	16,150			
Flooring - Tile	942	sf	\$	12.00	¢	11,304			
Flooring - Title Flooring - Porcelain	420	sf	\$ \$	14.00		5,880			
Base - Rubber	375	lf	\$ \$	2.00		750			
Base - Wood	320	lf	\$ \$	7.00		2,240			
Base - Tile	270	if	\$	10.00		2,700			
base - Tile	210	"	Subtot		Ψ	2,100	\$	39,024	
			TOTAL	_ DIVISION 09	)				\$ 171,43
/ISION 10 - SPECIALTIES									
Signage									
Room and Directional Signage	9,340	allow	¢	0.40	¢	3,736			
Nooni and Directional Signage	5,340	aiiUW	Subtot		Ψ	3,130	\$	3,736	

 Bunker Club
 9,340
 sf

 9,340
 sf

DESCRIPTION	QTY	UNIT	UNIT	COST		EXTENSION	5	SUBTOTAL	TOTAL
Tailet Accessories									
Toilet Accessories Ceiling Hung SS ADA Toilet Partition	2	00	¢	1,450	¢	2,900			
	2	ea	\$						
Ceiling Hung SS Standard Toilet Partition		ea	\$	1,260		5,040			
SS Urinal Partition	1	ea	\$	450		450			
Grab Bar Set	2	ea	\$		\$	510			
Toilet Paper Dispenser	6	ea	\$	65	\$	390			
Sanitary Napkin Disposal	4	ea	\$	65	\$	260			
Wall Mtd. Soap Dispenser	4	ea	\$		\$	260			
Paper Towel Dispenser W/ Trash Receptacle	2	ea	\$		\$	550			
Mirror	15	lf	\$ Subtotal		\$	825	\$	11,185	
Wall Protection									
Corner/Wall Guards	1	ls	\$	2,500.00	\$	2,500			
			Subtotal				\$	2,500	
Fire Protection Specialties	2		¢.	200.00	Φ.	000			
Fire Extinguishers and Cabinets	3	ea	\$ Subtotal	300.00	Þ	900	\$	900	
			TOTAL I	DIVISION 1	0				\$ 18,32
ISION 14 - CONVEYING									
Passenger Elevators - Premium Finishes	1	ea	\$ 17	10,000.00	\$	110,000	\$	110,000	
			TOTAL I	DIVISION 1	4				\$ 110,00
ISION 21 - FIRE PROTECTION									
Fire Protection									
Sprinkler System	9,340	sf	\$	3.50	\$	32,690			
, ,			Subtotal			•	\$	32,690	
			TOTAL I	DIVISION 2	1				\$ 32,69
ISION 22 - PLUMBING									
Plumbing Equipment									
		~£	\$	1.75	\$	16,345			
Plumbing Pumps/Equipment	9,340	sf					•	16,345	
	9,340	SI	Subtotal				\$	10,343	
Plumbing Pumps/Equipment  Plumbing Fixtures			Subtotal				<b>\$</b>	10,040	
Plumbing Pumps/Equipment  Plumbing Fixtures  Under Counter Mtd. Lav ( Assumed Quantity)	6	ea	Subtotal	850.00		5,100	<b>\$</b>	10,040	
Plumbing Pumps/Equipment  Plumbing Fixtures  Under Counter Mtd. Lav ( Assumed Quantity)  WC	6		Subtotal	850.00 1,000.00	\$	6,000	\$	10,040	
Plumbing Pumps/Equipment  Plumbing Fixtures  Under Counter Mtd. Lav ( Assumed Quantity)  WC  Urinal	6 6 2	ea	\$ \$ \$	850.00 1,000.00 1,000.00	\$ \$	6,000 2,000	*	10,343	
Plumbing Pumps/Equipment  Plumbing Fixtures  Under Counter Mtd. Lav ( Assumed Quantity)  WC  Urinal  Carriers	6 6 2 8	ea ea	Subtotal \$ \$ \$ \$	850.00 1,000.00 1,000.00 215.00	\$ \$ \$	6,000 2,000 1,720	•	10,343	
Plumbing Pumps/Equipment  Plumbing Fixtures  Under Counter Mtd. Lav ( Assumed Quantity)  WC  Urinal  Carriers  Rough-In Fixtures	6 6 2 8 14	ea ea ea	Subtotal \$ \$ \$ \$ \$	850.00 1,000.00 1,000.00 215.00 750.00	\$ \$ \$	6,000 2,000 1,720 10,500	•	10,543	
Plumbing Pumps/Equipment  Plumbing Fixtures  Under Counter Mtd. Lav ( Assumed Quantity)  WC  Urinal  Carriers	6 6 2 8	ea ea ea ea	Subtotal \$ \$ \$ \$	850.00 1,000.00 1,000.00 215.00	\$ \$ \$ \$	6,000 2,000 1,720	•	10,040	

 Bunker Club
 9,340
 sf

 9,340
 sf

# ESTIMATE DETAIL - BUNKER CLUB ADDITION

DESCRIPTION	QTY	UNIT	UNIT C	OST	EΣ	KTENSION	S	UBTOTAL		TOTAL
Coniton Wests New Divine										
Sanitary Waste/Vent Piping Sanitary Waste & Vent Piping	9,340	sf	¢	3.00	\$	28,020				
Floor Drains/Floor Sinks	9,340	ls	\$ \$	1,500		1,500				
Floor Drains/Floor Siliks	'	15	Subtotal	1,500	φ	1,500	\$	29,520	-	
Domestic Water										
Domestic Water Piping	9,340	sf	\$ Subtotal	4.00	\$	37,360	\$	37,360	-	
			Gubiotai				Ψ	37,300		
Storm Drainage	0.040	,	•	0.00	•	40.000				
Storm Drainage	9,340	sf	\$ Cubtatal	2.00	\$	18,680	•	40.000	-	
			Subtotal				\$	18,680		
Miscellaneous										
Testing	9,340	sf	\$		\$	3,736				
Miscellaneous Plumbing	9,340	sf	\$	1.00	\$	9,340			_	
			Subtotal				\$	13,076		
			TOTAL DI	VISION 2	22				\$	146,12
/ISION 23 - MECHANICAL HVAC										
CHW/HW Equipment										
HVAC Allowance	9,340	sf	\$	32.00	\$	298,880				
			Subtotal				\$	298,880	_	
			TOTAL DI	VISION 2	23				\$	298,88
/ISION 26 - ELECTRICAL										
Secondary Distribution										
Switchgear/Distribution Panels/Panels/Transformers	9,340	sf	\$	6.25	\$	58,375				
			Subtotal				\$	58,375	-	
Motor Connections										
Motor and Equipment Connections	9,340	sf	\$	1.50	\$	14,010				
			Subtotal				\$	14,010	_	
Distribution										
Feeders/Motor and Equipment	9,340	sf	\$	2.00	\$	18,680				
Lighting Branch - Conduit/Wire	9,340	sf	\$	2.35	\$	21,949				
Power Branch - Conduit/Wire	9,340	sf	\$	4.00		37,360				
			Subtotal				\$	77,989	-	
Building Lighting										
Building Lighting	9,340	sf	\$	9.00	\$	84,060				
Building Lighting Control	9,340	sf	\$	1.50		14,010				
Durang Lighting Johnson	0,040	OI.	Subtotal	1.00	Ψ	17,010	\$	98,070	-	
Devices										
Receptacles/Switches/Plug/Wiremold	9,340	sf	\$	1.75	\$	16,345				
1.000ptablogramionogra lagramionida	3,340	31	Subtotal	1.70	Ψ	10,040	\$	16,345	-	
			Silntotai							

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**Lightning Protection and Grounding** 

September 5, 2018

Bunker Club 9,340 sf 9,340 sf

## **ESTIMATE DETAIL - BUNKER CLUB ADDITION**

DESCRIPTION	QTY	UNIT	UNIT COST	E)	KTENSION	SI	JBTOTAL	TOTAL
Lightning Protection	9,340	sf	\$ 1.50	\$	14,010			
Grounding	9,340	sf	\$ 0.80		7,472			
Crounting	3,540	01	Subtotal	Ψ	1,412	\$	21,482	
			TOTAL DIVISION	26			(	286,271
			TO THE DIVIDION				`	200,2
DIVISION 27 - COMMUNICATIONS								
Data	0.040	,		•	07.000			
Data	9,340	sf	\$ 4.00 Subtotal	\$	37,360	\$	37,360	
			Gubtotui			۳	07,000	
			TOTAL DIVISION	27			•	37,360
DIVISION 28 - SECURITY & FIRE ALARM								
Security Equipment/Cable								
Security	9,340	sf	\$ 3.00	\$	28,020			
			Subtotal			\$	28,020	
Fire Alarm								
Fire Alarm	9,340	sf	\$ 2.65	\$	24,751			
`			Subtotal			\$	24,751	
			TOTAL DIVISION	28			•	52,771
DIVISION 31 - EARTHWORK								
Earthwork								
Mass Excavation	5,535	су	\$ 14.00		77,487			
Haul Spoils	6,642	су	\$ 10.00		66,418			
Building Pad Construction	623	су	\$ 25.00		15,567			
Termite Control	9,340	sf	\$ 0.35 Subtotal	\$	3,269	\$	162,741	
			Subtotal			Þ	102,741	
			TOTAL DIVISION	31			\$	162,741
DIVISION 32 - EXTERIOR IMPROVEMENTS								
			Subtotal			\$	-	
			TOTAL DIVISION	32			\$	-
DIMOION OF SITE LITH ITIES								

#### **DIVISION 33 - SITE UTILITIES**

Site Power Distribution

SEE DIVISION 26 - ELECTRICAL

Site Communications

SEE DIVISION 27 - TELECOMMUNICATIONS

**Site Thermal Utilities** 

SEE DIVISION 23 - HVAC

Storm Drainage

Storm Drainage 1 ls \$ 40,000 \$ 40,000

 Bunker Club
 9,340
 sf

 9,340
 sf

# ESTIMATE DETAIL - BUNKER CLUB ADDITION

DESCRIPTION	QTY	UNIT	UI	NIT COST	EX	CTENSION	SU	JBTOTAL	TOTAL
Connections	1	ls	\$	3,500	\$	3,500			
			Subto	otal			\$	43,500	
Site Lighting									
Site Lighting	1	ls	\$	40,000	\$	40,000			
			Subto	otal			\$	40,000	
Fire/Domestic Water									
Domestic Water Line	200	lf	\$	65.00	\$	13,000			
Fire Line	200	lf	\$	85.00	\$	17,000			
Connections/BFP/Vault	1	ls	\$	5,000	\$	5,000			
			Subto	otal			\$	35,000	
Sanitary									
Sanitary Line to Existing	200	lf	\$	78.00	\$	15,600			
Connect to Existing	1	ea	\$	1,500.00	\$	1,500			
Trenching /Backfill	200	lf	\$	25.00	\$	5,000			
			Subto	otal			\$	22,100	
			TOTA	L DIVISION	33				\$ 140
			SUB	TOTAL CONS	STRUC	TION			\$ 3,736

SEE SUMMARY FOR MARKUPS

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

 September 5, 2018
 West Amenity Addition
 1,060 sf

 1,060 sf
 1,060 sf

**ESTIMATE DETAIL - Bowl Remediation** 

DIVISION 01 - GENERAL REQUIREMENTS  Commissioning Coordination Cleanup - Periodic Dumpster Allow for Mock-Ups BIM Coordination Safety Meetings/Materials Layout	2.0 9 2 4 1 1 2 1,060	mos wk mo pulls Is	\$ \$ \$	500.00 2,400.00		4,330				
Commissioning Coordination Cleanup - Periodic Dumpster Allow for Mock-Ups BIM Coordination Safety Meetings/Materials	9 2 4 1 1 2	wk mo pulls Is	\$ \$			4,330				
Cleanup - Periodic Dumpster Allow for Mock-Ups BIM Coordination Safety Meetings/Materials	2 4 1 1 2	mo pulls Is	\$ \$			,				
Dumpster Allow for Mock-Ups BIM Coordination Safety Meetings/Materials	4 1 1 2	pulls Is	\$	,	\$	4,800				
Allow for Mock-Ups BIM Coordination Safety Meetings/Materials	1 2	Is		500.00	\$	2,000				
BIM Coordination Safety Meetings/Materials	2		\$	500.00	\$	500				
Safety Meetings/Materials	2		\$	2,000.00	\$	2,000				
• •		mo	\$	1,100.00	\$	2,200				
.,	,	sf	\$	1.00		1,060				
			Subt		•		\$	16,890		
			тот	AL DIVISION (	1				\$	16,890
DIVISION 02 - EXISTING CONDITIONS										
General Demolition/Prep	1,000	sf	\$	5.00	\$	5,000	•	E 000		
			Subt	totai			\$	5,000		
			TOT	AL DIVISION (	2				\$	5,000
DIVISION 03 - CONCRETE										
Slabs  ADA Platform Slab	1,000	of	¢	9.00	¢	9,000				
Void Forms	1,000	sf sf	\$	6.00	\$ \$					
Concrete Curb	600	Si If	\$			6,000				
Concrete Curb	000	II.	\$	12.00	Ф	7,200				
Camera Platform Slab	60	sf	\$	9.00		540				
Void Forms	60	sf	\$	6.00	\$	360				
Concrete Curb	70	lf	\$ Subt	12.00 total	\$	840	\$	23,940		
								,		
Miscellaneous Concrete										
Misc Concrete - Patch/Repair	1	ls	\$ Subt	3,000.00 total	\$	3,000	\$	3,000		
			тот	AL DIVISION (	3				\$	26,940
DIVISION 05 - METALS									·	.,.
Miscellaneous										
30" Steel Railing at ADA Seating	600	lf	\$	180.00	•	108,000				
30" Steel Railing at Camera Platform	70	lf	\$	180.00		12,600				
Miscellaneous Steel/Anchors	1	ls	\$	16,416		16,416				
Wiscontribus dicentations	'	10	Subt		Ψ	10,410	\$	137,016		
			тот	AL DIVISION (	5				\$	137,016
DB/(CION OC. WOOD AND DI ACTIOC					-				*	,
DIVISION 06 - WOOD AND PLASTICS  Rough Carpentry/Blocking										
Rough Carpentry/Blocking  Rough Carpentry / Blocking	1	ls	\$	2,250.00	\$	2,250				
rough Carponity / Diocking	'	15	Subt		Ψ	2,200	\$	2,250		
			TOT	AL DIVISION (	16				\$	2,250

**Gensler Dallas** 

SD Estimate - Coliseum Renovation & Addition

 September 5, 2018
 West Amenity Addition
 1,060 sf

 1,060 sf
 1,060 sf

#### **ESTIMATE DETAIL - Bowl Remediation**

DESCRIPTION	QTY	UNIT	UNIT CO	OST	EX	TENSION	Sl	JBTOTAL		TOTAL
DIVISION 07 - THERMAL & MOISTURE PROTECTION										
Caulking and Sealants										
Caulking and Sealants	1	ls	\$	3,150	\$	3,150			-	
			Subtotal				\$	3,150		
			TOTAL DIV	ISION (	)7				\$	3,150
DIVISION 09 - FINISHES										
Paint / Wall Covering										
Paint Railings	670	lf	\$	11.00	\$	7,370				
Miscellaneous Painting	1	ls		000.00	\$	3,000			_	
			Subtotal				\$	10,370		
Flooring										
Flooring - Sealed Concrete	1,060	sf	\$	2.00	\$	2,120				
Flooring - ADA Stripe	9	ea		750.00	\$	6,750			-	
			Subtotal				\$	8,870		
			TOTAL DIV	ISION (	)9				\$	19,240
DIVISION 10 - SPECIALTIES										
Signage										
ADA Signage	9	loc	\$	550.00	\$	4,950				
•			Subtotal				\$	4,950	-	
Accessories										
New Self Rising Blow Mold Arena Seats 243 ea	243	ea	\$	145.00	\$	35,235				
			Subtotal				\$	35,235	-	
			TOTAL DIV	ISION 1	10				\$	40,185
DIVISION 21 - FIRE PROTECTION										
Fire Protection										
New Fire Line	300	lf	\$	125.00	\$	37,500				
Connections/Backflow Preventer	1	ea		21,000	\$	21,000				
Fire Pump	1	ea		85,000	\$	85,000				
Emergency Generator Scope for Fire Pump	1	ls		00,000		300,000				
New Sprinkler System for Bowl Area	80,000	st	\$ Subtotal	4.00	\$	320,000	\$	763,500	-	
			TOTAL DIV	/ISION 2	21				\$	763,500
									•	
DIVISION 23 - MECHANICAL HVAC										
<b>Demolition</b> Demo/Prep for Smoke Exhaust Installation	1	ea	\$	20,000	\$	20,000				
Smoke Exhaust System										
Roof Mounted Exhaust Fans	4	ea	\$	12,000	\$	48,000				
Ductwork	30,000	lb	\$	9.00		270,000				
Motor Make-Up Air Louvers & Access (lower bowl locations)	6	loc		25,000		150,000				
Controls (beam detect/sprinkler flow)	1	ls		45,000		45,000				

Stephen F. Austin State University
Gensler Dallas

SD Estimate - Coliseum Renovation & Addition

 September 5, 2018
 West Amenity Addition
 1,060 sf

 1,060 sf
 sf

#### **ESTIMATE DETAIL - Bowl Remediation**

DESCRIPTION	QTY	UNIT	U	NIT COST	E	EXTENSION	S	UBTOTAL		TOTAL
Miscellaneous Metals - Bracing/Support	1	ls	\$	22,000.00	\$	22,000				
Repair Penetrations at Fan/Louver Installations	10	ea	\$	2,100.00	\$	21,000				
Electrical Feeders for Smoke Fans				*		,				
Electrical Feeders for Smoke Fairs	4	ea	\$ Subt	7,500.00 total	\$	30,000	\$	606,000	-	
			- Cub	·otui			*	000,000		
			TOT	AL DIVISION 2	23				\$	606,000
SION 26 - ELECTRICAL										
Demolition										
Remove Existing Bowl Lighting	80,000	sf	\$	1.50	\$	120,000			_	
			Subt	total			\$	120,000		
Secondary Distribution										
Work at Existing Panels for Lighting Update	1	allow	\$	35,000	\$	35,000			_	
			Subt	total			\$	35,000	=	
Distribution										
Feeders/Motor and Equipment	1	ea	\$	75,000	\$	75,000				
Lighting Branch - Conduit/Wire	80,000	sf	\$	3.00	\$	240,000				
			Subt	total			\$	315,000		
Building Lighting										
Building Lighting - LED Sports Lighting	80,000	sf	\$	9.80	\$	784,000				
Add Egress Lighting	1	ea	\$	40,000	\$	40,000				
Building Lighting Control	80,000	sf	\$	1.50	\$	120,000			_	
			Subt	total			\$	944,000		
			TOT	AL DIVISION 2	26				\$	1,414,000
			SUB	TOTAL CONS	TRU	JCTION			\$	3,034,171

SEE SUMMARY FOR MARKUPS

Stephen F. Austin State University Gensler Dallas

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

#### **ESTIMATE DETAIL - Differed Maintenance**

DESCRIPTION	QTY	UNIT		UNIT COST	E	KTENSION	Sl	JBTOTAL		TOTAL
DIVISION 01 - GENERAL REQUIREMENTS	14.0	mos								
Commissioning Coordination	12	wk	\$	500	\$	6,000				
Cleanup - Periodic	14	mo	\$	2,400		33,600				
Dumpster	inc	lude in N	MEP	•	·	•				
BIM Coordination	1	ls	\$	40,000	\$	40,000				
Safety Meetings/Materials	14	mo	\$	1,100		15,400				
Layout	1	ls	\$	20,000		20,000				
Layout	,	10		ototal	Ψ	20,000	\$	115,000	-	
			TO	TAL DIVISION (	1				\$	115,000
DIVISION 22 - PLUMBING										
Replace All Sanitary Waste/Vent Piping										
Disconnect/Demo Plumbing Piping	1	Is	\$	41,000	\$	41,000				
New Sanitary Piping Mains	1,900	lf	\$	75.00	\$	142,500				
New Sanitary Piping Branch	2,500	lf	\$	50.00		125,000				
Connections to Existing Sanitary	1	ls	\$	7,500		7,500				
Connections at Fixtures	1	ls	\$	20,000		20,000				
Man Hole/Grease Trap	1	ls	\$	30,000	\$	30,000				
Trench/Backfill	1	ls	\$	40,000	\$	40,000				
Patch/Repair at Removals	1	allow	\$	75,000	\$	75,000			_	
			Sul	ototal			\$	481,000	=	
Replace All Domestic Water Piping										
Disconnect/Demo Plumbing Piping	1	ls	\$	45,000	\$	45,000				
New Domestic Piping Mains	1,700	lf	\$	55.00	\$	93,500				
New Domestic Piping Branch	3,500	lf	\$	35.00	\$	122,500				
Piping Insulation	5,200	lf	\$	15.00	\$	78,000				
Connections to Existing Domestic	1	ls	\$	5,000	\$	5,000				
Connections at Fixtures	1	ls	\$	25,000	\$	25,000				
Miscellaneous Valves/Fittings/Accessories	1	ls	\$	25,000	\$	25,000				
Patch/Repair at Removals	1	allow	\$	50,000	\$	50,000			_	
			Sul	btotal			\$	444,000		
			TO	TAL DIVISION 2	2				\$	925,000
DIVISION 23 - MECHANICAL HVAC										
CHW/HW Equipment										
Disconnect from Equipment	1	ls	\$	3,500		3,500				
Demo Existing CHW/HW Piping	3,000	lf	\$	25.00		75,000				
New CHWS/R Piping	1,500	lf	\$	105.00	\$	157,500				
New HWS/R Piping	1,500	lf	\$	60.00		90,000				
Insulation for Pipe/Fittings	3,000	lf	\$	30.00		90,000				
Haul/Dispose	1	ls	\$	25,000	\$	25,000				
Patch/Repair at Pipe Removal	1	ls	\$	75,000	\$	75,000			_	
			Sul	ototal			\$	516,000		
			TO	TAL DIVISION 2	:3				\$	516,000

Gensler Dallas

SD Estimate - Coliseum Renovation & Addition

September 5, 2018

#### **ESTIMATE DETAIL - Differed Maintenance**

DESCRIPTION	QTY	UNIT		UNIT COST	E	XTENSION	Sl	UBTOTAL		TOTAL
DIVISION 26 - ELECTRICAL										
Replace Exterior Pole Lighting at Entry Walk										
Demo Existing Exterior Light Poles	8	ea	\$	350	\$	2,800				
New Pole Bases	8	ea	\$	750	\$	6,000				
New Poles/Fixtures	8	ea	\$	3,500	\$	28,000				
Conduit/Wire	1,500	lf	\$	21.00	\$	31,500				
Lighting Controls	1	ls	\$	10,000	\$	10,000				
Lighting at Rear Parking/Loading (bldg Mtd)	1	ls	\$	5,000	\$	5,000				
Patch/Repair at Lighting Installation	1	ls	\$	20,000	\$	20,000				
			Su	btotal			\$	103,300	_	
			то	TAL DIVISION 2	26				\$	103,300
			SU	B TOTAL CONS	STRU	CTION			\$	1,659,300

SEE SUMMARY FOR MARKUPS

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# **FIELDHOUSE**

The completely reenvisioned Fieldhouse provides new space for several athletic programs as well as shared facilities for the department as a whole. Facilities include Football, Track & Field, and Soccer team amenities and offices, and all-sports' Strength & Conditioning, Sports Medicine, and Equipment.

# Stephen F. Austin State University Gensler Dallas SD Estimate - Stadium, Fieldhouse September 5, 2018

#### SUMMARY

				Fieldhouse		Alternate		Stadium		Stadium
						Weight Room		West		East
	Area			82,588		8,550		40,180		5,004
01	General Requirements		\$	526,121	\$		\$	239,870	\$	122,464
02	Existing Conditions		\$	623,750	\$		\$	330,633	\$	61,402
03	Concrete		\$	1,932,143	\$		\$	4,392,264	\$	1,825,409
04	Masonry		\$	580,882	\$		\$	1,711,522	\$	400,270
05	Metals		\$	2,643,163	\$		\$	752,914	\$	110,925
06	Wood, Plastics and Composites		\$	388,248	\$	_	\$	333,315	\$	82,104
07	Thermal and Moisture Protection		\$	1,189,055	\$	_	\$	632,653	\$	97,355
08	Doors and Windows		\$	2,453,850	\$	_	\$	1,208,285	\$	174,925
09	Finishes		\$	2,775,509	\$	_	\$	1,490,779	\$	39,314
10	Specialties		\$	1,420,115	\$	_	\$	2,145,186	\$	587,516
11	Equipment		\$	31,000	\$	-	\$	5,000	\$	
12	Furnishings		\$	-	\$	-	\$	-	\$	_
13	Special Construction		\$	-	\$	-	\$	-	\$	_
14	Conveying		\$	-	\$	-	\$	520,000	\$	-
21	Fire Suppression		\$	289,058	\$	-	\$	140,630	\$	17,514
22	Plumbing		\$	1,643,107	\$	-	\$	1,066,862	\$	276,811
23	HVAC		\$	4,669,398	\$	-	\$	1,044,680	\$	100,080
26	Electrical		\$	2,675,851	\$	-	\$	3,284,592	\$	137,856
27	Communications		\$	1,238,820	\$	-	\$	522,340	\$	45,036
28	Electronic Safety and Security		\$	454,234	\$	-	\$	220,990	\$	35,779
31	Earthwork		\$	430,505	\$	-	\$	1,697,486	\$	1,667,921
32	Exterior Improvements		\$	254,717	\$	-	\$	1,806,450	\$	1,180,425
33	Utilities		\$	877,600	\$	-	\$	685,000	\$	215,000
	Alternate - Add Weight Room to Fieldhouse				\$	1,606,197				
	Subtotal		\$	27,097,125	\$	1,606,197	\$	24,231,450	\$	7,178,104
	General Conditions	8.0%	\$	2,167,770	\$	128,496	\$	1,938,516	\$	574,248
	Subtotal		\$	29,264,895	\$	1,734,693	\$	26,169,965	\$	7,752,353
	Consent Control to Fee Dead	4.00/	•	4 470 500	Φ.	00.000	•	4 0 4 0 7 0 0	•	040.00
	General Contractor Fee/Bond	4.0%		1,170,596	\$	69,388	\$	1,046,799	\$	310,094
	Subtotal		\$	30,435,491	\$	1,804,081	\$	27,216,764	\$	8,062,447
	Contingency	15.0%	\$	4,565,324	\$	270,612	\$	4,082,515	\$	1,209,367
	Subtotal	•	\$	35,000,814	\$	2,074,693	\$	31,299,279	\$	9,271,814
	Escalation Aug 2019	4.0%	\$	1,400,033	\$	82,988	\$	1,251,971	\$	370,87
	TOTAL CONSTRU	JCTION	\$	36,400,847	\$	2,157,681	\$	32,551,250	\$	9,642,686

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse 82,588 sf

DESCRIPTION	QTY	UNIT	l	INIT COST		EXTENSION	S	UBTOTAL	TOTAL
VISION 01 - GENERAL REQUIREMENTS	16	mos							
Commissioning Coordination	69	wk	\$	2,500.00	\$	173,200			
Cleanup - Periodic	16	mo	\$	2,400.00	\$	38,400			
Cleanup - Final Clean Interior/Glass	80,281	sf	\$	0.45		36,126			
Street Clean/Dumpster	69	wk	\$	500.00		34,640			
LEED Requirements	16	mo	\$	8,125.00	\$	130,000			
Allow for Mock-Ups	1	ls	\$	15,000.00		15,000			
BIM Coordination	1	ls	\$	30,000.00	\$	30,000			
Fencing	500	lf	\$	6.00		3,000			
Testing	1	allow	\$	50,000.00	•	BY OWNER			
Safety Meetings/Materials	16	mo	\$	1,100.00	\$	17,600			
Project Signage	1	ls	\$	4,000.00		4,000			
Layout	80,281	sf	\$	0.55		44,155			
Layou	00,201	O1		total	<u> </u>	11,100	\$	526,121	
			тот	AL DIVISION	01				\$ 526,121
ISION 02 - EXISTING CONDITIONS									
Site Demolition	1	ls	\$	75,000.00	\$	75,000			
Building Demolition	50,000	sf	\$	10.00	\$	500,000			
Haul Debris	75	pulls	\$	650.00	\$	48,750			
			Sub	total			\$	623,750	
			тот	AL DIVISION	02				\$ 623,750
ISION 03 - CONCRETE									
Drilled Piers									
Piers - 30/60 x 20' Deep	87	ea	\$	8,170.00	\$	713,159			
Pier Casing	1,746	lf	\$	45.00	\$	78,561			
Haul Spoils	435	су	\$ Sub	10.00 total	\$	4,350	\$	796,070	
Grade Beams							·	,.	
Perimeter Grade Beams - 18" x 30"	1 000	ıŧ	¢.	90.00	•	07.600			
Grade Beam Void Forms	1,220	lf ı£	\$	80.00		97,600			
	1,220	lf ıc	\$	8.00		9,760			
Grade Beam Soil Retainers	2,440	lf	\$ Sub	8.50 total	\$	20,740	\$	128,100	
Slabs									
5" Slab on Grade - Field Level	33,316	sf	\$	6.50	\$	216,554			
5" Slab on Grade - Concourse Level	9,700	sf	\$	6.50	\$	63,050			
0 0.00 0.11 0.1000 00.1000.100 2010.	0,100	0.		total	Ψ	00,000	\$	279,604	
Elevated Concrete									
Concrete Fill on Composite Deck (SEE DIV 05 for DECK)	37,265	ea	\$	4.75	\$	177,009			
			Sub	total			\$	177,009	
Miscellaneous Concrete									
Elevator Pits	2	ea	\$	8,500		17,000			
Hydro Pits	2	ea	\$	10,000		20,000			
Concrete Steps	680	sf	\$	35.00		23,800			
Loading Dock	365	sf	\$	40.00		14,600			
Permanent Soil Retention System	4,850	sf	\$	45.00		218,250			
24" Concrete Walls	5,000	sf	\$	35.00	\$	175,000			
Wall Footing	500	lf	\$	45.00	\$	22,499			

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse 82,588 sf

DESCRIPTION	QTY	UNIT		UNIT COST	EXTENSION	(	SUBTOTAL		TOTAL
			Sul	btotal		\$	551,360		
			то	TAL DIVISION 03	3			\$	1,932,143
DIVISION 04 - MASONRY									
Face Brick	9,500	sf	\$	26.00	\$ 247,000	)			
CMU Stair / Elevator Towers	11,232	sf	\$	20.00	\$ 224,640	)			
Scaffolding	42,016	sf	\$	2.60	\$ 109,242	2		_	
			Sul	btotal		\$	580,882		
			TO	TAL DIVISION 04	4			\$	580,882
DIVISION 05 - METALS									
Stairs & Metal Railings									
Interior Stairs - Egress	70	risers		950.00					
Interior Stairs - Monumental	35	risers			\$ 42,000				
Handrail at Concrete Stairs	175	lf	\$	175.00	\$ 30,625		100 100	-	
			Sul	btotal		\$	139,125		
Structural									
Steel Framing at 9.5 psf	393	ton	\$		\$ 1,612,845				
Composite Steel Deck	46,965	sf	\$	5.25					
Shear Studs	1,174	ea	\$		\$ 14,090				
Hoisting Poof Pools	46.065	mos	\$		\$ 135,000 \$ 164,379				
Roof Deck	46,965	sf	\$ Sul	3.50 btotal	\$ 164,378	\$	2,172,879	-	
Miscellaneous									
Miscellaneous Steel at 1.5 psf	60	ton	\$	5,500.00	\$ 331,159	9			
miceolaricodo eteorar no per	00	1011	_	btotal	<del>•</del> • • • • • • • • • • • • • • • • • •	\$	331,159	-	
			то	TAL DIVISION 05	5			\$	2,643,163
DIVISION 06 - WOOD AND PLASTICS									
Millwork									
Reception Desk	12	lf	\$	550.00	\$ 6,600	)			
Upper and Lower Base Cabinet W/Countertop	9	lf	\$	465.00	\$ 4,185	5			
Reception Desk	19	lf	\$	550.00	\$ 10,450	)			
Assumed Wooden Bench	61	lf	\$	54.00	\$ 3,294	1			
Solid Surface Counters	46	lf	\$	190.00	\$ 8,740	)			
Plam Lockers w/Locking Door Panels 16" X 16' X 16 "	32	ea	\$	425.00	\$ 13,600	)			
Solid Surface Countertop	154	lf	\$	190.00	\$ 29,260	)			
Note 7 Custom Locker @\$1500.00 Ea. ?	45	ea	\$	1,500.00	\$ 67,500	)			
Assumed Wooden Bench	22	lf	\$	54.00	\$ 1,188	3			
Plam Counter or Cabinets	45	lf	\$	130.00	\$ 5,850	)			
Reception Desk	15	lf	\$		\$ 8,250				
Storage Shelf?	31	lf	\$		\$ 1,395				
Assumed Wooden Bench	189	lf	\$		\$ 10,206				
Assumed Wooden Bench	68	lf	\$	54.00					
Assumed Wooden Bench's Football Locker	320	lf	\$	54.00					
Assumed Wooden Bench - Student Stall Locker	35	lf	\$		\$ 1,890				
Type Unknown	38	lf	\$	50.00					
Millwork - Allow Not Shown	82,588	sf	\$ Sul	0.50 btotal	\$ 41,294		236,554	-	
			oul	มเงเสเ		\$	∠ახ,ⴢⴢ4		

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse

82,588 sf

DESCRIPTION	QTY	UNIT	UNIT C	OST	E	XTENSION	S	UBTOTAL	TOTAL
Rough Carpentry/Blocking									
Tiered Platform for Squad Meeting	2,400	sf	\$	46.00	\$	110,400			
Rough Carpentry / Blocking	82,588	sf	\$	0.50	\$	41,294			
			Subtotal				\$	151,694	
			TOTAL DI	VISION (	06				\$ 388,24
ON 07 - THERMAL & MOISTURE PROTECTION									
Insulation/Waterproofing									
Insulation/Weather Proofing at Exterior Skin	15,200	sf	\$	6.00	\$	91,200	•	04.000	
			Subtotal				\$	91,200	
Roofing									
Modified Bitumen Roofing	46,965	sf	\$	13.00	\$	610,545			
			Subtotal				\$	610,545	
Metal									
Exterior Metal Panels	5,700	sf	\$	35.00	\$	199,500			
Powder-Coated Shade Louver (Canopy)	2,004	sf	\$	55.00	\$	110,220			
Louvers	200	sf	\$	45.00	\$	9,000			
			Subtotal				\$	318,720	
Caulking and Sealants									
Caulking and Sealants	80,281	sf	\$	2.10	\$	168,590			
			Subtotal				\$	168,590	
			TOTAL DI	VISION (	07				\$ 1,189,05
			TOTAL DI	VIOIOIT	٠.				
ON 08 - DOORS AND GLAZING			TOTAL DI	VIOIOIT					
DN 08 - DOORS AND GLAZING Glass and Glazing			TOTAL DI	VIOIOIV					
ON 08 - DOORS AND GLAZING Glass and Glazing Curtainwall	15,000	sf	S	95.00		1,425,000			
Glass and Glazing	15,000 3,800	sf sf	\$ \$		\$	1,425,000 247,000			
Glass and Glazing Curtainwall			\$	95.00	\$		\$	1,672,000	
Glass and Glazing Curtainwall			\$ \$	95.00	\$		\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront			\$ \$	95.00 65.00 5,500	\$ \$		\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD	3,800 18 6	sf	\$ \$ Subtotal	95.00 65.00 5,500 6,500	\$ \$ \$	247,000 99,000 39,000	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single	3,800 18 6 4	ea ea ea	\$ \$ Subtotal	95.00 65.00 5,500 6,500 3,500	\$ \$ \$ \$	99,000 39,000 14,000	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD	3,800 18 6 4 1	ea ea ea ea	\$ \$ Subtotal	95.00 65.00 5,500 6,500 3,500 5,000	\$ \$ \$ \$ \$ \$	99,000 39,000 14,000 5,000	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single	3,800 18 6 4 1	ea ea ea ea	\$ \$ Subtotal	95.00 65.00 5,500 6,500 3,500 5,000 2,100	\$ \$ \$ \$ \$ \$ \$ \$	99,000 39,000 14,000 5,000 2,100	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double	3,800 18 6 4 1 1	ea ea ea ea ea	\$ \$ Subtotal \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600	\$ \$ \$ \$ \$ \$ \$ \$	99,000 39,000 14,000 5,000 2,100 2,600	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single	3,800 18 6 4 1 1 1	ea ea ea ea ea ea	\$ \$ Subtotal \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600 2,350	\$ \$ \$ \$ \$ \$ \$ \$ \$	99,000 39,000 14,000 5,000 2,100 2,600 9,400	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker	3,800 18 6 4 1 1 1 4 3	ea ea ea ea ea ea	\$ \$ Subtotal \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600 2,350 2,600	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker	3,800 18 6 4 1 1 1 4 3 5	ea ea ea ea ea ea ea	\$ \$ Subtotal \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600 2,350 2,600 2,100	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double	3,800  18 6 4 1 1 1 4 3 5 1	ea ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600 2,350 2,600 2,100 2,600	* * * * * * * * * * * * * * * * * * * *	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double Mec/Elect Single	3,800  18 6 4 1 1 1 4 3 5 1	ea ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600 2,100 2,600 2,100 2,600 2,100	**	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600 2,100	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double	3,800  18 6 4 1 1 1 4 3 5 1	ea ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600 2,350 2,600 2,100 2,600	**	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600	\$	1,672,000	
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double Mec/Elect Single Unisex Single	3,800  18 6 4 1 1 1 4 3 5 1	ea ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 5,000 2,100 2,600 2,100 2,600 2,100 2,600 2,100	**	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600 2,100			
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double Mec/Elect Single Unisex Single Unisex Single	3,800  18 6 4 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 2,100 2,350 2,600 2,100 2,600 2,100 2,100	**	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600 2,100 2,100			
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double Mec/Elect Single Unisex Single Unisex Single	3,800  18 6 4 1 1 1 1 1 1 1 3 5 1 1 1 1	ea ea ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 2,100 2,350 2,600 2,100 2,600 2,100 2,100	**	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600 2,100 2,100			
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double Mec/Elect Single Unisex Single  Interior Doors and Frames Classroom Single Office Glass Single	3,800  18 6 4 1 1 1 1 1 1 3 5 1 1 1 1 1 1 1 1 1 1 1 1	ea ea ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 2,100 2,350 2,600 2,100 2,600 2,100 2,100	**	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600 2,100 2,100 5,550 122,500			
Glass and Glazing Curtainwall Exterior Storefront  Exterior Doors Entry Glass Double 12' OHD Entry Glass Single 10' OHD Staging Single Laundry Double Stairs Single Double Shower/Locker Single: Shower/Locker Equipment Double Mec/Elect Single Unisex Single Unisex Single	3,800  18 6 4 1 1 1 1 1 1 1 3 5 1 1 1 1	ea ea ea ea ea ea ea ea ea	\$ \$ Subtotal  \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	95.00 65.00 5,500 6,500 3,500 2,100 2,350 2,600 2,100 2,600 2,100 2,100	**	99,000 39,000 14,000 5,000 2,100 2,600 9,400 7,800 10,500 2,600 2,100 2,100			

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse 82,588 sf

DESCRIPTION	QTY	UNIT	UNIT (	:081	E	EXTENSION	8	SUBTOTAL	TOTAL
MEC/Elec Double	11	00	\$	2,850	¢	21 250			
MEC/Elec /Stair Single	14	ea ea	\$	2,510		31,350 35,140			
Entry Glass Double	10	ea	\$	3,500		35,000			
Corridor Double	10	ea	\$	2,450		24,500			
Bathroom Single	23	ea	\$	1,850		42,550			
Shower/Locker Room Double	9	ea	\$	2,250	\$	20,250			
Shower/Locker Room Single	2	ea	\$	1,850		3,700			
X-ray Single	1	ea	\$	3,000		3,000			
Trainer Single	3	ea	\$	1,850		5,550			
Allow for Access Doors	1	ls	\$	3,000	\$	3,000			
			Subtotal				\$	371,090	
Interior Glazing									
Glass Storefront	4,624	sf	\$	45.00	\$	208,080			
Glass Storefront Entry	144	sf	\$	45.00	\$	6,480			
			Subtotal				\$	214,560	
			TOTAL D	IVISION	08				\$ 2,453,850
VISION 09 - FINISHES									
Partitions			٥	000.00	•	00 ===			
CMU	415	lf .c	\$	238.00		98,770			
High Impact Corridor	1,467	lf .c	\$	115.00		168,705			
Meeting Rooms	559	lf .c	\$	115.00		64,285			
Elevator	131	lf 	\$	140.00		18,340			
Secure Storage	12	lf 'r	\$	238.00	\$	2,856			
Stairs	312	lf .c	\$	140.00		43,680			
Chemical Storage	25	lf .c	\$	140.00	\$	3,500			
Chase	437	lf .c	\$	140.00	\$	61,180			
Bathroom Surround	693	lf L£	\$	115.00		79,695			
Bathroom Wing Wall	183 256	lf If	\$ \$	115.00 115.00	\$	21,045			
Work Out Room Wing Wall	720	II If	\$ \$	135.00		29,440			
High Impact Column Furr	97	II If	\$ \$	90.00	\$ \$	97,200 8,730			
AV/IT/MEC/Storage	577	lf	\$	115.00	\$	66,355			
Shower Room	256	lf	\$	140.00	\$	35,840			
Wall Furr Out	71	lf	\$	90.00		6,390			
Office	446	lf	\$	115.00	\$	51,290			
X-ray Room	53	lf	\$	160.00		8,480			
CMU	274	lf	\$	238.00		65,212			
Office Min SCT 50	526	lf	\$	120.00		63,120			
Concrete Furr out	110	lf	\$	90.00		9,900			
High Impact	200	lf	\$	135.00	\$	27,000			
Office	96	lf	\$	115.00		11,040			
Shower/Restroom Surround	119	lf	\$	115.00		13,685			
Shower/Restroom Chase	62	lf	\$	140.00		8,680			
Shower/Restroom Wing	94	lf	\$	115.00		10,810			
Elec/Jan	62	lf	\$	120.00		7,440			
Column Furr	22	lf	\$ Subtotal	90.00	\$	1,980	•	1 004 640	
			Jubilidi				\$	1,084,648	
Ceilings Gyp Ceiling	33,035	sf	\$	8.00	¢	264,282			

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse 82,588 sf

DESCRIPTION	QTY	UNIT	UN	IT COST	EXTENSI	ON	SUBTO	TAL	TOTAL
Exposed - Paint	4,129	sf	\$	2.00	\$ 8	3,259			
Gyp Furrdowns and Trim	1	allow		15,000.00	\$ 15	5,000			
			Subto	tal			\$ 70	00,478	
Paint / Wall Covering									
Paint Doors/Frames	1	ls	\$	7,500.00		7,500			
Paint	201,428	sf	\$			1,785			
Paint CMU	10,100	sf	\$	3.00		0,300			
Epoxy Paint	3,710	sf	\$	2.00		7,420			
Tile	18,388	sf	\$	10.00		3,880			
VWC	1,431	sf	\$	3.50		5,009			
Misc Painting	82,588	sf	\$ Subto	0.25 tal	\$ 20	),647	\$ 50	06,541	
							,	-,	
Flooring Torrazzo	1 920	cf	¢	20.00	¢ 20	5 596			
Flooring - Terrazzo	1,829 52,745	sf sf	\$ ¢	20.00 5.00		5,586 3,725			
Flooring - Carpet Tile Flooring - Sealed Concrete	16,674	sf	\$ \$	2.00		3,349			
Flooring - Tile	6,961	sf	\$	12.00		3,530			
Flooring - VCT	593	sf	\$	3.00		1,778			
Flooring - Slip Resistant Floor Tile	2,602	sf	\$	5.00		3,009			
Base - Rubber	12,433	lf	\$	2.00		4,866			
Base - Tile	2,700	if	\$	10.00		7,000			
	,		Subto		·	,	\$ 48	33,842	
			TOTA	L DIVISION (	)9			;	\$ 2,775,509
DIVISION 10 - SPECIALTIES									
Signage/Branding									
Branding	1	allow	\$	800,000	\$ 800	0,000			
Room and Directional Signage	82,588	allow	\$	0.30	\$ 24	1,776			
			Subto	tal			\$ 82	24,776	
Toilet Compartments									
ADA SS Ceiling Hung Toilet Partition	3	ea		1,450		4,350			
Standard SS Ceiling Hung Toilet Partition	14	ea		1,260		7,640			
Standard Toilet Partition	9	ea		1,000		9,000			
Urinal Screen	13	ea		450		5,850			
Standard Floor Mounted Toilet Partition	14	ea		1,000		1,000			
ADA Floor Mounted Toilet Partition	5	ea	Subto	1,250 tal	\$ 6	5,250	\$ 5	57,090	
								,	
Toilet Accessories	4-		•	055.00	•				
Grab Bar Set	17	ea	\$	255.00		1,335			
Toilet Paper Dispenser	56	ea	\$	65.00		3,640			
Wall Mounted Soap Dispenser	45	ea	\$	65.00 180.00		2,925			
Paper Towel Dispenser W/ Trash Receptacle	23	ea	\$			1,140			
Sanitary Napkin Disposal Small Mirror	15 1	ea	\$	60.00		900			
		ea If	\$	150.00		150			
Mirror Janitor Mop Shelf	107 1		\$	32.00		3,424 135			
Janiloi Mop Sheii	1	ea	\$ Subto	135.00 tal	φ	133	\$ 1	19,649	
							Ŧ '	· ,= · <del>*</del>	
Corridor Wall Graphic Allowance	1	ea			\$	-			

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse

82,588 sf

DESCRIPTION	QTY	UNIT	UNIT	COST	Ελ	KTENSION	SUBTOTAL		TOTAL
Note 12 Allowance Wall Graphic	5	ea			\$	_			
Team Meeting Room Extensive Wall Graphic	1	ea			\$				
Typical Team Meeting Wall Graphic Allowance	7				\$	-			
Typical Team Meeting Wall Graphic Allowance	,	ea			φ	-			
(2) Taping Station	4	ea	\$	3,500.00	\$	14,000			
(80) Full Height Powder Coated Mtl Locker	80	ea	\$	425.00	\$	34,000			
Manager Lockers: Power-Coated Mtl Locker 12" X 12" X 36"	18	ea	\$	350.00	\$	6,300			
Folding Partition	22	lf	\$	540.00	\$	11,880			
140 Extra Wide Theater Seats	140	ea	\$	650.00	\$	91,000			
Custom Locker Note 10	120	ea	\$	950.00	\$	114,000			
Note 10 Provide Allowance @ \$3500.00 EA Multiscreen Projection @ Front	2	ea	\$ 3	5,000.00	\$	70,000			
Track Women's Custom Locker	59	ea	\$	400.00	\$	23,600			
Note 14 Allowance @1500.00 Ea. Lg Screen TV W/Lounge Furniture	2	ea		1,500.00		3,000			
Track Men's Custom Locker	50	ea	\$	750.00		37,500			
Student Staff Locker	26	ea	\$	350.00		9,100			
Soccer Accessories			•		•	4			
ADA Ceiling Hung SS Toilet Partition	10	ea	\$	1,450		14,500			
Standard Ceiling Hung SS Toilet Partition	4	ea	\$	1,260		5,040			
Custom Locker	30	ea	\$	950		28,500			
Note 14 Provide Allowance @1500.00 Ea. Large Screen TV W/Lounge Furr	1	ea	\$	1,500	\$	1,500			
Grab Bar Set	3	ea	\$	255	\$	765			
Wall Mounted Soap Dispenser	6	ea	\$	65	\$	390			
Paper Towel Dispenser W/ Trash Receptacle	4	ea	\$	180	\$	720			
Toilet Paper Dispenser	7	ea	\$	65	\$	455			
Mirror	26	lf	\$	32	\$	832			
Miscellaneous Specialties									
Marker/Tack Boards/Bulletin	1	ls	\$	25,000	\$	25,000			
Miscellaneous	82,588	sf	\$	0.20		16,518			
	,	•	Subtotal		<u> </u>	,	\$ 508,60	00	
Well Book of the									
Wall Protection	4	la.	•	F F00	¢	E E00			
Corner/Wall Guards	1	ls	\$	5,500	\$	5,500	<b>.</b>	-	
			Subtotal				\$ 5,50	JU	
Fire Protection Specialties									
Fire Extinguishers and Cabinets	15	ea	\$	300.00	\$	4,500	<b>A</b> 45		
			Subtotal				\$ 4,50	)0	
			TOTAL I	OIVISION	10			\$	1,420,115
DIVISION 11 - EQUIPMENT									
Loading Dock									
Loading Dock  Loading Dock Equipment	1	allow	¢	7,000	¢	7,000			
Loading Dock Equipment	'	allow	Subtotal		Ψ	7,000	\$ 7,0	00	
Miscellaneous Equipment	_		•		•	40.000			
Commercial Washer	2	ea	\$	5,000		10,000			
Commercial Dryer	2	ea	\$	4,500		9,000			
OFCI Equipment Allowance	1	ea	\$	5,000	\$	5,000	<b>A</b>		
			Subtotal				\$ 24,00	00	
			TOTAL I	OIVISION	11			\$	31,000

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse

82,588 sf

ESTIMATE DETAIL
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DESCRIPTION	QTY	UNIT	UNIT CO	ST	EXTENSION	S	UBTOTAL		TOTAL
DIVISION 12 - FURNISHINGS									
			Subtotal			\$	•		
			TOTAL DIV	ISION 12	2			\$	_
DIVISION 13 - SPECIAL CONSTRUCTION									
DIVISION 13 - SPECIAL CONSTRUCTION									
			Subtotal			\$	-		
			TOTAL DIV	ISION 1	3			\$	•
DIVISION 21 - FIRE PROTECTION									
Fire Protection	00.500		•	2.50	ф 000 0E0				
Sprinkler System	82,588	sf	\$ Subtotal	3.50	\$ 289,058	\$	289,058		
			TOTAL DIV	ISION 2	1			\$	289,058
DIVISION 22 - PLUMBING									
Plumbing Equipment Plumbing Pumps/Equipment/Heaters	82,588	sf	\$	4.00	\$ 330,352				
•			Subtotal		•	\$	330,352		
Plumbing Fixtures									
WC	57	ea		1,000					
Assumed Urinal Shower	17 54	ea ea		1,000 1,500					
Under Mounted Lav Sink	24	ea	\$	850					
MS-1	2	ea		2,500					
Lav	4	ea	\$	850					
Drinking Fountain w/Bottle Fill	2	ea	\$	2,500					
Carriers	76	ea	\$ 2	215.00	\$ 16,340				
Rough-In Fixtures	160	ea		'50.00					
Auto Flush - Water Closet	57	ea		60.00					
Auto Sensor for Sink	28	ea	\$ 5	510.00	\$ 14,280	\$	365,640		
Sanitary Waste/Vent Piping									
Sanitary Waste & Vent Piping	82,588	sf	\$	3.50	\$ 289,058				
Floor Drains/Floor Sinks	1	ls	\$ 1	8,000	\$ 18,000				
			Subtotal			\$	307,058		
Domestic Water									
Domestic Piping & Valves	82,588	sf	\$	4.00	\$ 330,352				
			Subtotal			\$	330,352	•	
Natural Gas									
Natural Gas Distribution	82,588	sf	\$ Subtotal	0.50	\$ 41,294	\$	41,294	•	
Storm Drainage									
Storm Drainage	82,588	sf	\$	2.00	\$ 165,176				
			Subtotal			\$	165,176		

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse 82,588 sf

DESCRIPTION	QTY	UNIT	UNIT CO	OST	ΕX	KTENSION	SUB	TOTAL		TOTAL
Miscellaneous										
Testing	82,588	sf	\$	0.25		20,647				
Miscellaneous Plumbing	82,588	sf	\$	1.00	\$	82,588		100.00=	-	
			Subtotal				\$	103,235		
			TOTAL DIV	ISION 2	22				\$	1,643,107
/ISION 23 - MECHANICAL HVAC										
CHW/HW Equipment										
Air Cooled Chiller 200 ton	2	ea		40,000		280,000				
Boiler for Hot Water Heating	1	ls		80,000		80,000				
Air Handling	120,000	cfm	\$	7.00		840,000				
HWH / CHW Pumps	1	ls 		20,000	\$	20,000				
Ductwork	90,847	lb	\$	9.50		863,045				
Exhaust Fans	1	ls		30,000	\$	30,000				
Air Terminals	120	ea	\$	1,250	\$	150,000				
CHW / HW Piping	82,588	sf	\$	4.00	\$	330,352				
GRDs	82,588	sf	\$	0.70	\$	57,812				
Controls	82,588	sf	\$ Subtotal	5.00	\$	412,940	<b>.</b>	064 440	-	
			Subtotai				\$ 3	,064,148		
Central Plant Adds for CHW Support			•		•	00.000				
New Cooling Tower Base/Supports	1	ls		20,000		20,000				
New Cooling Tower	1	ea		73,500		73,500				
Pumps	1	ls		16,000	\$	16,000				
Brick Enclosure on CMU w/ Footing	150	lf	\$	160	\$	24,000				
Add for Controls	1	ls		37,500	\$	37,500				
8" Direct Bury CHWS/R Piping (approx. 900lf S/R)	1,800	lf 	\$	372		669,600				
6" Direct Bury HWS/R Piping (approx. 900lf S/R)	1,800	lf 	\$	305	\$	549,000				
4" CHWS/R to Pressbox	370	lf 	\$	130	\$	48,100				
4" HWS/R to Pressbox	370	lf 	\$	130	\$	48,100				
Trench/Backfill	1,270	lf '	\$	35	\$	44,450				
Electrical Support	1	ls	\$ Subtotal	75,000	\$	75,000	\$ 1	,605,250		
			TOTAL DIV	ISION 2	23				\$	4,669,398
/ISION 26 - ELECTRICAL										
Secondary Distribution										
Switchgear/Distribution Panels/Panels/Transformers	82,588	sf	\$	6.00		495,528				
Emergency Power	82,588	sf	\$ Subtotal	2.00	\$	165,176	\$	660,704	-	
			Gustotai				*	000,104		
Motor Connections  Motor and Equipment Connections	82,588	sf	\$	1.50	\$	123,882				
	02,000	ŭ.	Subtotal		<u> </u>	.20,002	\$	123,882	•	
Distribution										
Feeders/Motor and Equipment	82,588	sf	\$	2.00	\$	165,176				
Lighting Branch - Conduit/Wire	82,588	sf	\$	2.35		194,082				
Power Branch - Conduit/Wire	82,588	sf	\$	4.00		330,352				
	02,000	O.		1.00	Ψ	000,002	\$	689,610	•	
			Subtotal				Ψ	005,010		
			Subtotal				¥	009,010		
Building Lighting Building Lighting	82,588	sf	Subtotal \$	8.00	\$	660,704	•	009,010		

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse

82,588 sf

DESCRIPTION	QTY	UNIT	UNIT COST	E	XTENSION	Sl	JBTOTAL		TOTAL
			Subtotal			\$	784,586		
Devices									
Receptacles/Switches/Plug/Wiremold	82,588	sf	\$ 1.7	5 \$	144,529				
			Subtotal			\$	144,529		
Site Miscellaneous									
Miscellaneous Electrical	82,588	sf	\$ 0.5	0 \$	41,294				
			Subtotal			\$	41,294		
Lightning Protection and Grounding									
Lightning Protection	82,588	sf	\$ 2.0	0 \$	165,176				
Grounding	82,588	sf		0 \$	66,070				
			Subtotal			\$	231,246		
			TOTAL DIVISIO	N 26				\$	2,675,851
ISION 27 - COMMUNICATIONS									
Data Data/Telecommunications	82,588	sf	\$ 6.5	0 \$	536,822				
Data releconmunications	02,000	31	Subtotal	σΨ	000,022	\$	536,822	•	
Audio-Visual							,		
Audio Visual - Equipment	82,588	sf		0 \$	578,116				
Audio Visual - Rough-In	82,588	sf	\$ 1.5	0 \$	123,882	\$	701,998		
			Subtotal			Þ	701,990		
			TOTAL DIVISIO	N 27				\$	1,238,820
ISION 28 - SECURITY & FIRE ALARM									
Security Equipment/Cable									
Security	82,588	sf	\$ 3.0	0 \$	247,764	•	047.704		
			Subtotal			\$	247,764		
Fire Alarm									
Fire Alarm	82,588	sf		0 \$	206,470	_	200 470		
			Subtotal			\$	206,470		
			TOTAL DIVISIO	N 28				\$	454,234
ISION 31 - EARTHWORK									
Earthwork  Mass Excavation	12,339	су	\$ 14.0	0 \$	172,750				
Haul Spoils	14,190	су		0 \$	141,901				
Grading	70,448	sf		5 \$	24,657				
Building Pad Construction	2,221	су	\$ 25.0	0 \$	55,527				
Fine Grade Parking and Walk Areas	12,157	sf		0 \$	6,079				
Termite Control	47,406	sf	\$ 0.3 Subtotal	5 \$	16,592	\$	417,505		
Environmental						-	,		
SWPPP and Maintenance	1	ls	\$ 3,500.0	0 \$	3,500				
SWPPP Construction Entrance	1,500	sf		0 \$	4,500				
SWPPP Documentation	1	ls	\$ 5,000.0		5,000				
			Subtotal			\$	13,000		

Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse

82,588 sf

DESCRIPTION	QTY	UNIT	l	UNIT COST	EXTENSIO	١	SUBTOTAL		TOTAL
			TO	TAL DIVISION 3	1			\$	430,50
VISION 32 - EXTERIOR IMPROVEMENTS									
Pavements / Hard Scapes									
Truck Ramp at Loading Dock	580	sf	\$	14.00	\$ 8,1	20			
Re-Surface Existing Drive	1,454	sf	\$		\$ 5,0				
New Field Access Drive	3,996	sf	\$		\$ 27,9				
Curb	478	sf	\$		\$ 2,8				
Sidewalk	3,008	sf	\$		\$ 15,7				
Exterior-Grade Rubberized Athletic Surface	4,573	sf	\$	12.00					
Other Sitework Allowance	1			,	\$ 40,0				
Landscaping and Irrigation Allowance	1	allow		100,000 ototal	\$ 100,0	100 \$	5 254,717	-	
				TAL DIVISION 3	2	•	204,111	\$	254,71
					_			•	,
VISION 33 - SITE UTILITIES									
Site Power Distribution SEE DIVISION 26 - ELECTRICAL									
Site Communications									
SEE DIVISION 27 - TELECOMMUNICATIONS									
Site Thermal Utilities SEE DIVISION 23 - HVAC									
Gas Service									
Natural Gas Main - UG	100	lf	\$	75					
Connections	1	ls	\$ Sub	3,500 ototal	\$ 3,5	500 <b>\$</b>	11,000	-	
			-			*	,000		
Site Storm Drainage									
Site Storm Drainage & Collection	1	ls	\$	150,000					
Connections	1	ls	\$	4,000	\$ 4,0			-	
			Sub	ototal		\$	154,000		
Site Fire/Domestic Water									
Domestic Water Line - UG	150	lf	\$	130	. ,	00			
Fire Line - UG	150	lf	\$	150					
Connections/BFP/Vault	1	ls	\$	15,000	\$ 15,0			_	
			Sub	ototal		\$	57,000		
Site Distribution									
Primary Distribution									
Relocate Existing PUG, SUG under Exist Field House	800	lf	\$	250					
Primary Transformer/Ductbank - Connection to New FH	1	ls	\$		\$ 150,0				
Communications Connection for Building - UG	200	lf I-	\$		\$ 24,0				
Communications Connection at Existing MH	1 000	ls If	\$		\$ 5,0 \$ 18.0				
Trenching /Backfill	1,000	II	\$ Sub	ototal	\$ 18,0	\$	397,000	-	
Site Lighting									
Site Lighting	1	ls	\$	150,000	\$ 150,0	00			
			Sub	ototal		\$	150,000	-	

Stephen F. Austin State University Gensler Dallas

SD Estimate - Stadium, Fieldhouse

September 5, 2018

Fieldhouse 82,588 sf

## **ESTIMATE DETAIL**

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	UBTOTAL	TOTAL
			_						
SANITARY - 8" Sanitary Line	200	lf	\$	38.00	\$	7,600			
SANITARY - Connect to Existing	1	ea	\$	1,500.00	\$	1,500			
SANITARY - Manhole	1	ea	\$	4,500.00	\$	4,500			
Trenching /Backfill	200	lf	\$	25.00	\$	5,000			
			Sı	ubtotal			\$	18,600	
Site Accessories									
Flag Poles	2	ea	\$	5,000	\$	10,000			
Site Furnishings	1	ls	\$	50,000	\$	50,000			
Monument Sign	1	ls	\$	30,000	\$	30,000			
			Sı	ubtotal			\$	90,000	
			TO	OTAL DIVISION :	33				\$ 877,600
			SI	UB TOTAL CON	STR	UCTION			\$ 27,097,125

SEE SUMMARY FOR MARKUPS

Stephen F. Austin State University Gensler Dallas SD Estimate - Stadium, Fieldhouse September 5, 2018

## **ALTERNATES**

DESCRIPTION	QTY	UNIT	·	JNIT COST	E)	XTENSION	TOTAL
ternate 1 - Add Weight Room at Fieldhouse	8,550	sf					
Grading and Building Pad	8,550	sf	\$	1.75	\$	14,963	
Footings	21	ea	\$	810.00	\$	17,316	
Grade Beams	418	lf	\$	80.00	\$	33,440	
Slab	8,550	sf	\$	6.50	\$	55,575	
Steel Framing	17	tons	\$	4,100.00	\$	70,110	
48" Deep Glulam Framing	285	lf	\$	220.00	\$	62,700	
30" Deep Glulam Framing	710	lf	\$	137.50	\$	97,625	
Roof Deck	8,550	sf	\$	3.50	\$	29,925	
Insulation and Waterproofing at Exterior Solid Walls	2,329	sf	\$	6.00	\$	13,974	
Roofing	8,550	sf	\$	13.00	\$	111,150	
Curtainwall	3,126	sf	\$	95.00	\$	296,970	
Exterior Double Glass Doors	2	pr	\$	6,500.00	\$	13,000	
Overhead Doors	6	ea	\$	14,000.00	\$	84,000	
Floor Finishes - Mondo Flooring	8,550	sf	\$	14.00	\$	119,700	
Floor Finishes - Mondo Flooring Platforms 6x8	30	ea	\$	1,000.00	\$	30,000	
Ceiling Finishes	8,550	sf	\$	5.00	\$	42,750	
Painting	8,550	sf	\$	1.50	\$	12,825	
Sprinkler	8,550	sf	\$	3.50	\$	29,925	
Plumbing	8,550	sf	\$	1.50	\$	12,825	
Mechancial	8,550	sf	\$	26.00	\$	222,300	
Electrical	8,550	sf	\$	21.00	\$	179,550	
Telecommunications	8,550	sf	\$	4.50	\$	38,475	
Security	8,550	sf	\$	2.00	\$	17,100	



# **HOMER BRYCE STADIUM**

The modernized stadium layout represents a complete functionallty overhaul. By removing the earth berms above the current concourse level, significant buildabile area is recaptured for the development of patron amenities. The concept also includes a new club and club seating for approx. 300 preimum patrons, 10 private suites, and a press level for media accommodations.

# Stephen F. Austin State University Gensler Dallas SD Estimate - Stadium, Fieldhouse September 5, 2018

#### SUMMARY

				Fieldhouse		Alternate		Stadium		Stadium
						Weight Room		West		East
	Area			82,588		8,550		40,180		5,004
01	General Requirements		\$	526,121	\$		\$	239,870	\$	122,464
02	Existing Conditions		\$	623,750	\$		\$	330,633	\$	61,402
03	Concrete		\$	1,932,143	\$		\$	4,392,264	\$	1,825,409
04	Masonry		\$	580,882	\$		\$	1,711,522	\$	400,270
05	Metals		\$	2,643,163	\$		\$	752,914	\$	110,925
06	Wood, Plastics and Composites		\$	388,248	\$	_	\$	333,315	\$	82,104
07	Thermal and Moisture Protection		\$	1,189,055	\$	_	\$	632,653	\$	97,355
08	Doors and Windows		\$	2,453,850	\$	_	\$	1,208,285	\$	174,925
09	Finishes		\$	2,775,509	\$	_	\$	1,490,779	\$	39,314
10	Specialties		\$	1,420,115	\$	_	\$	2,145,186	\$	587,516
11	Equipment		\$	31,000	\$	-	\$	5,000	\$	
12	Furnishings		\$	-	\$	-	\$	-	\$	_
13	Special Construction		\$	-	\$	-	\$	-	\$	_
14	Conveying		\$	-	\$	-	\$	520,000	\$	-
21	Fire Suppression		\$	289,058	\$	-	\$	140,630	\$	17,514
22	Plumbing		\$	1,643,107	\$	-	\$	1,066,862	\$	276,811
23	HVAC		\$	4,669,398	\$	-	\$	1,044,680	\$	100,080
26	Electrical		\$	2,675,851	\$	-	\$	3,284,592	\$	137,856
27	Communications		\$	1,238,820	\$	-	\$	522,340	\$	45,036
28	Electronic Safety and Security		\$	454,234	\$	-	\$	220,990	\$	35,779
31	Earthwork		\$	430,505	\$	-	\$	1,697,486	\$	1,667,921
32	Exterior Improvements		\$	254,717	\$	-	\$	1,806,450	\$	1,180,425
33	Utilities		\$	877,600	\$	-	\$	685,000	\$	215,000
	Alternate - Add Weight Room to Fieldhouse				\$	1,606,197				
	Subtotal		\$	27,097,125	\$	1,606,197	\$	24,231,450	\$	7,178,104
	General Conditions	8.0%	\$	2,167,770	\$	128,496	\$	1,938,516	\$	574,248
	Subtotal		\$	29,264,895	\$	1,734,693	\$	26,169,965	\$	7,752,353
	Consent Control to Fee Dead	4.00/	•	4 470 500	Φ.	00.000	•	4 0 4 0 7 0 0	•	040.00
	General Contractor Fee/Bond	4.0%		1,170,596	\$	69,388	\$	1,046,799	\$	310,094
	Subtotal		\$	30,435,491	\$	1,804,081	\$	27,216,764	\$	8,062,447
	Contingency	15.0%	\$	4,565,324	\$	270,612	\$	4,082,515	\$	1,209,367
	Subtotal	•	\$	35,000,814	\$	2,074,693	\$	31,299,279	\$	9,271,814
	Escalation Aug 2019	4.0%	\$	1,400,033	\$	82,988	\$	1,251,971	\$	370,87
	TOTAL CONSTRU	JCTION	\$	36,400,847	\$	2,157,681	\$	32,551,250	\$	9,642,686

Stephen F. Austin State University
Gensler Dallas
SD Estimate - Stadium, Fieldhouse
September 5, 2018

Concourse	15,351	sf	
Club	7,263	sf	
Suite	8,885	sf	
Press	8,681	sf	
TOTAL	40,180	sf	

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	SI	UBTOTAL		TOTAL
IVISION 01 - GENERAL REQUIREMENTS	6	mos								
Commissioning Coordination	26	wk	\$	2,500.00	\$	64,950				
Cleanup - Periodic	6	mo	\$	2,400.00	\$	14,400				
Cleanup - Final Clean Interior/Glass	40,180	sf	\$	0.45	\$	18,081				
Street Clean/Dumpster	26	wk	\$	500.00	\$	12,990				
LEED Requirements	6	mo	\$	8,125.00		48,750				
Allow for Mock-Ups	1	ls	\$	15,000.00	\$	15,000				
BIM Coordination	1	ls	\$	30,000.00	\$	30,000				
Fencing	500	lf	\$	6.00		3,000				
Testing	1	allow	\$	50,000.00	Ψ	BY OWNER				
Safety Meetings/Materials	6	mo	\$	1,100.00	\$	6.600				
Project Signage	1	ls	\$	4,000.00	\$	4,000				
Layout	40,180	sf	\$	0.55		22,099				
Layout	40,100	31		btotal	Ψ	22,099	\$	239,870	•	
			TO	TAL DIVISION (	)1				\$	239,87
IVISION 02 - EXISTING CONDITIONS										
West - Demo Seating Area	16,545	sf	\$	2.25	\$	37,226				
West - Demo Press Box Structure	25,000	sf	\$	10.00		250,000				
West - Demo Sidewalk	8,725	sf	\$	1.25	\$	10,906				
Haul Debris	50	pulls	\$	650.00	\$	32,500				
	-	P	_	btotal	<u> </u>	02,000	\$	330,633	-	
			TO	TAL DIVISION (	)2				\$	330,63
IVISION 03 - CONCRETE										
Drilled Piers										
Piers - 48/108 x 20' Deep (Press Box Structure)	34	ea	\$	8,170.00	\$	277,780				
Piers - 24/48 x 20' Deep (Concourse Structures)	98	ea	\$	1,820.00	\$	177,450				
Pier Casing	2,630	lf	\$	45.00	\$	118,350				
Haul Spoils	806	су	\$	10.00	\$	8,060			_	
			Sul	btotal			\$	581,640		
Grade Beams Perimeter Grade Beams - 18" x 30"	2.450	lf	¢	80.00	¢	196,000				
Grade Beam Void Forms	2,450	ı, İf	\$	8.00	\$	19,600				
Grade Beam Soil Retainers	2,450	If	\$ \$	8.50	\$	41,650				
Glade Bealth 30th Retainers	4,900	"	<u> </u>	btotal	φ	41,050	\$	257,250	-	
Slabs										
5" Slab on Grade - Concourse Level Buildings	15,351	sf	\$	6.50	2	99,782				
Field Level Seating - Pad for Bleachers	6,488	sf	\$	7.50		48,660				
Field Level dealing - Fad for bleadiers	0,400	31		btotal	Ψ	40,000	\$	148,442	•	
Elevated Structural Concrete										
West - Columns to Roof Level - 87'	18	ea	\$	11,500.00	\$	207,000				
West - Columns to Seating - 30'	8	ea	\$	3,970.00		31,760				
West - Columns to Seating - 13'	8	ea	\$	1,720.00		13,760				
West - Club Level Pan Slab / Beam	7,263	sf	\$	28.00	\$	203,364				
West - Suite Level Pan Slab / Beam	8,885	sf	\$	28.00		248,780				
West - Press Level Pan Slab / Beam	8,681	sf	\$	28.00		243,068				
West - Stairs Concouse Level to Vomitory - 5 each	110	riser	\$	1,000.00	ф	110,000				

Stephen F. Austin State University
Gensler Dallas
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September 5, 2018

 Concourse
 15,351
 sf

 Club
 7,263
 sf

 Suite
 8,885
 sf

 Press
 8,681
 sf

 TOTAL
 40,180
 sf

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	5	SUBTOTAL		TOTAL
West - Upper Bowl Seating - Precast Treads	16,884	sf	\$	45.00	\$	759,780				
West - Upper Bowl Seating - Precast Risers	9,260	sf	\$	45.00	\$	416,700				
West - Upper Bowl Seating - 48" x 60" Raker Beams	1,281	lf	\$	660.00	\$	845,460				
West - Upper Bowl Seating - Vomitory Walls	1,360	sf	\$	45.00	\$	61,200				
West - Intermediate Conc Steps at Seating	867	sf	\$	10.00	\$	8,670				
West - New ADA Seating Platform at Seating Bowl (Field)	218	sf	\$	20.00	\$	4,360				
West - Lower Bowl - Add ADA Seating Platform to Existing	800	sf	\$	20.00	\$	16,000				
West - New ADA Seating Platform at Upper Bowl	160	sf	\$	20.00	\$	3,200				
			Su	btotal			\$	3,173,102		
Miscellaneous Concrete										
Hoisting	3	mos	\$	45,000.00	\$	135,000				
Elevator Pits	3	ea	\$	8,500.00	\$	25,500				
Misc Concrete	57,064	sf	\$	1.25	\$	71,330				
			Su	btotal			\$	231,830		
			то	TAL DIVISION (	)3				\$	4,392,264
IVISION 04 - MASONRY										
Exterior Skin - Upper Levels - 60% Brick	4,268	sf	\$	26.00	\$	110,978				
CMU Walls w/ Face Brick at Concourse Buildings	31,752	sf	\$	42.00	\$	1,333,584				
CMU Stair / Elevator Towers	8,620	sf	\$	18.00	\$	155,160				
Scaffolding	43,000	sf	\$	2.60	\$	111,800				
			Su	btotal			\$	1,711,522		
			то	TAL DIVISION (	)4				\$	1,711,522
IVISION 05 - METALS										
Stairs & Metal Railings										
West - Stairs Concouse Level to Press Level - 2 Each	147	risers	\$	1,500.00	\$	219,990				
West - Railings at Seating - Lower Bowl	273	lf	\$	175.00	\$	47,775				
West - Railings at Seating - Upper Bowl	341	lf	\$	175.00	\$	59,675				
			Su	btotal			\$	327,440		
Structural										
Steel Framing at Press Box Roof - 8 psf	38	ton	\$	4,100.00	\$	155,800				
Steel Framing at Concourse Buildings - 5 psf	38	ton	\$	4,100.00	\$	157,348				
Roof Deck	24,236	sf	\$	3.50	\$	84,826				
			Su	btotal			\$	397,974		
Miscellaneous	_		•	5 500 00	•	07.500				
Miscellaneous Steel	5	ton	\$ Su	5,500.00 <b>btotal</b>	\$	27,500	\$	27,500		
			то	TAL DIVISION O	\E			,	¢	752.044
			10	TAL DIVISION (	13				\$	752,914
IVISION 06 - WOOD AND PLASTICS Millwork										
Bar - Stadium Club	74	lf	\$	300.00	\$	22,200				
Plam Work Surface Box Office	20	lf	\$	250.00		5,000				
Pass Through Window	1			3,500.00		3,500				
Plan Work Counter - Counting	20	ls If	\$ ¢			5,000				
Fiall Work Coullet - Coulluity	20	II	\$	250.00	\$	5,000				
Countertop - Restroorm	42	lf	\$	180.00	Ф	7,560				

Stephen F. Austin State University
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	40,100	<b>-</b> .
TOTAL	40,180	sf
Press	8,681	sf
Suite	8,885	sf
Club	7,263	sf
Concourse	15,351	sf

DESCRIPTION	QTY	UNIT	UN	IT COST	E.	XTENSION	S	UBTOTAL	TOTAL
SS Counter - Concession	333	lf	\$	275.00	\$	91,575			
Plam Press Counter - Press Level	190	If	\$	250.00	\$	47,500			
Athletics Director - Press Level	190	If	\$ \$	250.00	\$	4,750			
Storage Rack	30	lf	\$	55.00	\$	1,650			
Possible Upper & Lower Cabinet W/ Countertop - Suite	168	 If	\$	450.00	\$	75,600			
Possible Upper and Lower Cabinet - Club Level Pantry	39	 If	\$	450.00		17,550			
Possible Upper and Lower Cabinet - Press Level Pantry	25	 If	\$	450.00	\$	11,250			
Millwork - Allow Not Shown	40,180	sf	\$	0.50		20,090			
MINOUR - ANOW INCLUDING	.0,.00	٥.	Subto		<u> </u>	20,000	\$	313,225	
Rough Carpentry/Blocking									
Rough Carpentry / Blocking	40,180	sf	\$	0.50	\$	20,090			
			Subto	tal			\$	20,090	
			TOTA	L DIVISION	)6				\$ 333,31
ION 07 - THERMAL & MOISTURE PROTECTION									
Insulation/Waterproofing Insulation/Weather Proofing at Exterior Skin	42,666	sf	\$	4.00	¢	170,664			
insulation/vveatilei Frooting at Exterior Skill	42,000	51	Subto		φ	170,004	\$	170,664	
D. C.									
Roofing Medified Diturner Deafing Dress Rev	0 005	-t	¢.	12.00	¢.	115 505			
Modified Bitumen Roofing - Press Box	8,885	sf	\$	13.00		115,505			
TPO Roofing - Concourse Buildings	15,351	sf	\$ Subto	10.00 tal	Þ	153,510	\$	269,015	
Metal									
Exterior Skin - 40% Metal Panel	2,846	sf	\$	35.00	\$	99,596			
Louvers	200	sf	\$	45.00	\$	9,000			
	200	-	Subto		<u> </u>	0,000	\$	108,596	
Caulking and Sealants									
Caulking and Sealants	40,180	sf	\$	2.10	\$	84,378			
			Subto	tal		-	\$	84,378	
			TOTA	L DIVISION	)7				\$ 632,65
ION 08 - DOORS AND GLAZING									
Glass and Glazing									
Concession Window Wall Glazing	140	lf .	\$	55.00		7,700			
Laminated Curtainwall at Press Box	783	sf	\$	110.00		86,130			
Laminated Curtainwall at Press Box - Add for Operable	577	sf	\$	135.00		77,895			
Storefront at Club & Suite Level	2,594	sf	\$	55.00		142,670			
Exterior Skin - Curtainwall	4,018	sf	\$	95.00		381,710			
	220 743	lf ır	\$	275.00		60,500			
West - Upper Bowl Seaing - End Walls - 42" Glass Rail in Shoe		lf	\$	200.00 350.00		148,600			
West - Upper Bowl Seaing - 30" Glass Rail in Shoe		1.0		350 00	.55	50,050			
	143	lf	\$ Subto		Ψ		\$	955,255	
West - Upper Bowl Seaing - 30" Glass Rail in Shoe Glass Guardrail at Interior Openings		lf			Ψ		\$	955,255	
West - Upper Bowl Seaing - 30" Glass Rail in Shoe Glass Guardrail at Interior Openings  Interior/Exterior Doors	143			tal	Ψ		\$	955,255	
West - Upper Bowl Seaing - 30" Glass Rail in Shoe Glass Guardrail at Interior Openings		lf ea ea			•	35,000 11,700	\$	955,255	

Stephen F. Austin State University Gensler Dallas SD Estimate - Stadium, Fieldhouse September 5, 2018 
 Concourse
 15,351
 sf

 Club
 7,263
 sf

 Suite
 8,885
 sf

 Press
 8,681
 sf

 TOTAL
 40,180
 sf

DESCRIPTION	QTY	UNIT	UNIT COST	EXTENSION	SUBTOTAL	TOTAL
Main Storage/Custodial Double Door	4	ea	1,950	7,800		
Main Electrical Single	1	ea	1,950	1,950		
Suit Entry Double	3	ea	2,220	6,660		
Single Stair	2	ea	2,300	4,600		
Club Entry Double	3	ea	2,550	7,650		
Single Box Office	2	ea	1,950	3,900		
Single Office	1	ea	1,950	1,950		
Bathroom Single	2	ea	1,950	3,900		
Concession 15' Overhead Coiling Door W/Fly Pans	6	ea	7,500	45,000		
Concession 15' Overhead Coiling Door W/Fly Pans Concession 10' Overhead Coiling Door W/Fly Pans	2	ea	5,000	10,000		
	2	ou	Subtotal	10,000	\$ 147,910	
Interior Doors and Frames						
Restroom Doors Single	11	ea	1,850	\$ 20,350		
Single Data/Mech/Jan/Stor	13	ea	1,850			
Single Restroom	12	ea	1,850			
Stairs Single	6	ea	2,300			
Double Door Elevator Lobby	1	ea	2,220			
Single Suite	10	ea	2,100			
Allow for Access Doors	1	ls	\$ 1,500.00			
			Subtotal		\$ 105,120	
			TOTAL DIVISION	08		\$ 1,208,2
ON 09 - FINISHES						
Partitions						
High Impact	630	lf	\$ 115.00	\$ 72,450		
Bathroom Chase	130	lf	\$ 140.00	\$ 18,200		
Bathroom Surround	246	lf	\$ 115.00			
Storage/Mech/ Jan	305	lf	\$ 115.00			
Elevator	420	lf	\$ 140.00			
Stairs	402	lf	\$ 140.00			
Suite	493	lf	\$ 115.00			
Concourse Level CMU	1,379	lf	\$ 238.00			
Office/Box Office	126	lf	\$ 115.00			
PTD. MTL. Ornamental Fence	394	lf	\$ 75.00			
PTD. MTL. Ornamental Gate W Drop-Pin	15	ea	\$ 1,500.00			
Concourse Level CMU Double	727	If	\$ 265.00			
Concourse Level CMU Double Double	115	 If	\$ 265.00			
SUITED TO SUITE SU	110	"	Subtotal	Ψ 00,110	\$ 943,662	
Ceilings						
Premium Lay In Ceiling	1,116	sf	\$ 6.00	\$ 6,696		
Washable Lay-In Ceiling	3,561	sf	\$ 5.50			
Open to Structure (paint)	6,573	sf	\$ 1.00			
Lay-In Ceiling	5,449	sf	\$ 4.50			
Premium Lay-In and Gyp Ceiling Suits	3,614	sf	\$ 7.00			
Data /Elect/Storage/Jan. Open (paint)	757	sf	\$ 1.00			
Gypsum	1,745	sf	\$ 8.00			
Suit Level Corridor No Info	1,662	sf	\$ 5.00			
			, 0.00	, 0,010		
Suit Level Elevator Lobby No Info	59	sf	\$ 5.00	\$ 295		

Stephen F. Austin State University
Gensler Dallas
SD Estimate - Stadium, Fieldhouse
September 5, 2018

TOTAL	40 180	sf	
Press	8,681	sf	
Suite	8,885	sf	
Club	7,263	sf	
Concourse	15,351	sf	

## **ESTIMATE DETAIL**

DESCRIPTION	QTY	UNIT	U	NIT COST	Е	XTENSION	S	SUBTOTAL	TOTAL
Press Level Corridor No Info	1,715	sf	\$	5.00	\$	8,575			
11000 20101 00111101 1110	1,7 10	O.	Subt		Ψ	0,010	\$	156,610	
Paint / Wall Covering									
Paint Doors	1	ls	\$	6,095.00	¢	6,095			
Paint Frames	1	ls	\$	3,445.00	\$	3,445			
Paint	26,190	sf	\$	1.25	\$	32,738			
Paint CMU	23,013	sf	\$	2.00	\$	46,026			
Tile	5,030	sf	\$	12.00	\$	60,360			
Misc Painting	40,180	sf	\$	0.25		10,045			
	.0,.00	0.	Subt		•	.0,0.0	\$	158,709	
Flooring									
Flooring - Carpet w/ Wood Accent	4,178	sf	\$	8.00	\$	33,424			
Flooring - Carpet	10,971	sf	\$	5.00		54,855			
Flooring - 60% Carpet 40% Tile	3,624	sf	\$	9.00	\$	32,616			
Flooring - Sealed Concrete	10,291	sf	\$	2.00	\$	20,582			
Flooring - Tile Ceramic	- 2,657	sf	\$	12.00	\$	31,884			
Flooring - Tile Porcelain	2,137	sf	\$	13.00	\$	27,781			
Base - Rubber	5,523	lf	\$	2.00	\$	11,046			
Base - Wood	1,420	lf	\$	7.00	\$	9,940			
Base - Tile	967	lf	\$	10.00	\$	9,670			
			Subt	otal			\$	231,798	
			TOTA	AL DIVISION (	)9			\$	1,490
ON 10 - SPECIALTIES									
Seating									
West - New Plastic Seats at Lower Bowl	1,728	seats		250.00		432,000			
West - ADA Seats	46	seats	\$	300.00		13,800			
West - New Plastic Seats at Upper Bowl	3,087	seats	\$ Subt	250.00 otal	\$	771,667	\$	1,217,467	
							•	.,,	
Signage/Branding	4	سامال	¢	750 000	¢	750,000			
Branding	10 100	allow	\$	750,000		750,000			
Room and Directional Signage	40,180	allow	\$ Subt	0.30 otal	Þ	12,054	\$	762,054	
Toilet Accessories									
ADA Floor Mounted HDPE Toilet Partition	22	ea	\$	1,200.00	\$	26,400			
Standard Floor Mounted HDPE Toilet Partition	86	ea	\$	1,000.00		86,000			
Urinal Screen	19	ea	\$ \$	450.00		8,550			
Assumed Small Mirror	63	ea	\$	165.00		10,395			
Assumed Mop & Broom Holder W/Shelf	3	ea	\$	175.00		525			
Assumed Mop & Brooth Holder W/Shell Assumed ADA Grab Bar Set	24	ea	\$	255.00		6,120			
Assumed Paper Towel Dispenser W/Trash Receptacle	34	ea	\$ \$	210.00		7,140			
Assumed Toilet Tissue Dispenser	108	ea	\$	65.00		7,140			
	100	Ga	Ψ	05.00	Ψ	1,020			
	97	69	\$	55 00	\$	A 785			
Assumed Vallet Neede Bisponsor  Assumed Sanitary Napkin Disposal  Assumed Wall Mounted Soap Dispenser	87 42	ea ea	\$ \$	55.00 65.00		4,785 2,730			

**Wall Protection** 

Concourse

Club

Suite

15,351 sf

7,263 sf

8,885 sf

Stephen F. Austin State University

SD Estimate - Stadium, Fieldhouse

**Gensler Dallas** 

SD Estimate - Stadium, Fieldhouse			Suite	8,88	) ST			
September 5, 2018			Press	8,68			_	
ESTIMATE DETAIL			TOTAL	40,180	) sf			
ESTIMATE DETAIL								
DESCRIPTION	QTY	UNIT	UNIT COST	EXTENSION	5	SUBTOTAL		TOTAL
Corner/Wall Guards	1	ls	\$ 3,000	\$ 3,000	)		_	
			Subtotal		\$	3,000	•	
Fire Protection Specialties								
Fire Extinguishers and Cabinets	10	ea	\$ 300.00	\$ 3,000				
			Subtotal		\$	3,000		
			TOTAL DIVISION	10			\$	2,145,186
DIVISION 11 - EQUIPMENT								
Miscellaneous Equipment								
OFCI Equipment Allowance	1	ea	\$ 5,000 <b>Subtotal</b>	\$ 5,000	\$	5,000		
			Subtotal		φ	3,000		
			TOTAL DIVISION	11			\$	5,000
DIVISION 12 - FURNISHINGS								
			Subtotal		\$	-	-	
			TOTAL DIVISION	12			\$	-
DIVISION 13 - SPECIAL CONSTRUCTION								
			Cultatal		•			
			Subtotal		\$	-		
			TOTAL DIVISION	13			\$	•
DIVISION 14 - CONVEYING								
West - Passenger Elevators - Premium Finish - 2 Each West - Service Elevator - 1 Each	2	ea	\$ 180,000.00					
West - Service Elevator - 1 Each	ı	ea	\$ 160,000.00 Subtotal	\$ 160,000	\$	520,000	•	
			TOTAL DIVISION	14			\$	520,000
			TOTAL DIVIDION	17			Ψ	320,000
DIVISION 21 - FIRE PROTECTION Fire Protection								
Sprinkler System	40,180	sf	\$ 3.50	\$ 140,630	)		_	
			Subtotal		\$	140,630		
			TOTAL DIVISION	21			\$	140,630
DIVISION 22 - PLUMBING								
Plumbing Equipment								
Plumbing Pumps/Equipment	40,180	sf	\$ 2.00 Subtotal	\$ 80,360	\$	80,360	-	
Disphine Fishure								
Plumbing Fixtures WC	112	ea	\$ 1,000	\$ 112,000	)			
Urinal	28	ea	\$ 1,000					
Lav (Note Says Wall Hung But Looks Like Counter)	60	ea	\$ 750					
Wall Hung Lav	4	ea	\$ 850					
MS-1	3	ea	\$ 2,500	\$ 7,500	)			

Stephen F. Austin State University
Gensler Dallas
SD Estimate - Stadium, Fieldhouse
September 5, 2018

 Concourse
 15,351
 sf

 Club
 7,263
 sf

 Suite
 8,885
 sf

 Press
 8,681
 sf

 TOTAL
 40,180
 sf

DESCRIPTION	QTY	UNIT	U	NIT COST	E	XTENSION	S	UBTOTAL		TOTAL
Sink in Suite	10	60	\$	550	¢	5,500				
Drinking Fountain w/Bottle Fill	2	ea ea	\$ \$	2,500		5,000				
Carriers	146	ea	\$	2,500		31,390				
Rough-In Fixtures	217	ea	\$	750.00		162,750				
Auto Flush - Water Closet/Urinal	140	ea	\$	460.00		64,400				
Auto Sensor for Sink	60	ea	\$	510.00		30,600				
7.00 53.05 15 5		•	Subt		<del>-</del>	00,000	\$	495,540	•	
Sanitary Waste/Vent Piping										
Sanitary Waste & Vent Piping	40,180	sf	\$	4.00	\$	160,720				
Grease Trap and Waste Piping	1	allow	\$	45,000.00		45,000				
Floor Drains/Floor Sinks	1	ls	\$	3,000		3,000				
Trenching	1	allow	\$	5,000.00		5,000				
-			Subt	otal			\$	213,720	-	
Domestic Water										
Domestic Piping & Valves	40,180	sf	\$	4.00	\$	160,720			_	
			Subt	otal			\$	160,720		
Natural Gas										
Natural Gas Distribution	40,180	sf	\$	1.00	\$	40,180			-	
			Subt	otal			\$	40,180		
Storm Drainage										
Storm Drainage	40,180	sf	\$ Subt	0.50	\$	20,090	\$	20,090	-	
			Oubl	otai			Ψ	20,030		
Miscellaneous	40.400	,	•	0.40	•	10.070				
Testing	40,180	sf	\$	0.40		16,072				
Miscellaneous Plumbing	40,180	sf	\$ Subt	otal	\$	40,180	\$	56,252	-	
			тот	AL DIVISION 2	12			,	\$	1,066,86
			1017	AL DIVISION 2	.2				Ψ	1,000,00
VISION 23 - MECHANICAL HVAC CHW/HW Equipment										
HVAC	40,180	sf	\$	26.00	\$	1,044,680				
	.0,.00		Subt			.,,	\$	1,044,680	•	
			тоти	AL DIVISION 2	23				\$	1,044,68
#81011.00 Ft F0FF1011										
/ISION 26 - ELECTRICAL Secondary Distribution										
Work at Existing Panels	40,180	sf	\$	0.50	\$	20,090				
•			Subt	otal			\$	20,090	-	
Motor Connections										
Motor and Equipment Connections	40,180	sf	\$	1.50	\$	60,270				
			Subt	otal			\$	60,270		
Distribution										
Feeders/Motor and Equipment Lighting Branch - Conduit/Wire	40,180 40,180	sf sf	\$ \$	2.00 2.35		80,360 94,423				

Stephen F. Austin State University	Concourse	15,351 sf
Gensler Dallas	Club	7,263 sf
SD Estimate - Stadium, Fieldhouse	Suite	8,885 sf
September 5, 2018	Press	8,681 sf
	TOTAL	40,180 sf
ESTIMATE DETAIL		

DESCRIPTION	QTY	UNIT	UNIT COST	E	EXTENSION	5	SUBTOTAL	_	TOTAL
Power Branch - Conduit/Wire	40,180	sf	\$ 4.00	\$	160,720				
	,		Subtotal			\$	335,503		
Building Lighting									
Building Lighting	40,180	sf	\$ 8.00	\$	321,440				
Building Lighting Control	40,180	sf	\$ 1.00		40,180				
3 3 3 3 4 3	,		Subtotal	·		\$	361,620		
Stadium Lighting									
Stadium Lighting - Field Lighitng	8	allow	\$ 275,000	\$	2,200,000				
Pole Base	8	ea	\$ 5,000.00		40,000				
Feeders	2,800	lf	\$ 14.00		39,200				
Electrical Panels/Terminations	1	ls	\$ 25,000.00		25,000				
		.0	Subtotal	<u> </u>	20,000	\$	2,304,200		
Devices									
Receptacles/Switches/Plug/Wiremold	40,180	sf	\$ 1.75	\$	70,315	•	70 245		
			Subtotal			\$	70,315		
Site Miscellaneous Miscellaneous Electrical	40,180	sf	\$ 0.50	\$	20,090				
micos idiocae Electrical	10,100	Oi.	Subtotal	•	20,000	\$	20,090		
Lightning Protection and Grounding									
Lightning Protection	40,180	sf	\$ 2.00	\$	80,360				
Grounding	40,180	sf	\$ 0.80		32,144				
or survey of the	10,100	Oi.	Subtotal	Ψ	02,111	\$	112,504		
			TOTAL DIVISION	26				\$	3,284,592
DIVISION 27 - COMMUNICATIONS									
Data									
Data/Telecommunications	40,180	sf	\$ 6.50	\$	261,170				
			Subtotal			\$	261,170		
Audio-Visual									
Audio Visual - Equipment	40,180	sf	\$ 5.00	\$	200,900				
Audio Visual - Rough-In	40,180	sf	\$ 1.50	\$	60,270	\$	261,170		
						Ψ	201,170		
			TOTAL DIVISION	27				\$	522,340
DIVISION 28 - SECURITY & FIRE ALARM									
Security Equipment/Cable									
Security	40,180	sf	\$ 3.00	\$	120,540	•	120 540		
			Subtotal			\$	120,540		
<b>Fire Alarm</b> Fire Alarm	40,180	sf	\$ 2.50	•	100,450				
THE MAIN	40,100	31	Subtotal	φ	100,430	\$	100,450		
			TOTAL DIVISION	28				\$	220,990
								+	

Stephen F. Austin State University			Conco	urse		351				
Gensler Dallas			Club			263				
SD Estimate - Stadium, Fieldhouse			Suite			885				
September 5, 2018			Press				sf -•		•	
ESTIMATE DETAIL			TOTAL	-	40,	180	Sī			
DESCRIPTION	QTY	UNIT	UN	NIT COST	EXTENSION	1	S	SUBTOTAL		TOTAL
DIVISION 31 - EARTHWORK										
Earthwork										
Mass Excavation	61,000	су	\$	14.00	\$ 854,0	)00				
Haul Spoils	70,150	су	\$	10.00	\$ 701,	500				
Grading	140,000	sf	\$	0.35	\$ 49,0	)00				
Building Pad Construction (Concourse Buildings)	1,365	су	\$	25.00	\$ 34,	113				
Fine Grade Parking and Walk Areas	81,000	sf	\$	0.50	\$ 40,5					
Termite Control	15,351	sf	\$	0.35	\$ 5,3	373			_	
			Subto	tal			\$	1,684,486		
Environmental										
SWPPP and Maintenance	1	ls	\$	3,500.00		500				
SWPPP Construction Entrance	1,500	sf	\$	3.00		500				
SWPPP Documentation	1	ls	\$ Subto	5,000.00 otal	\$ 5,0	000	\$	13,000	•	
			TOTA	L DIVISION 3	4				\$	1,697,486
			IUIA	L DIVISION 3	'1				Ф	1,097,400
DIVISION 32 - EXTERIOR IMPROVEMENTS										
Pavements / Hard Scapes										
West - Plaza Area Paving / Hardscape Allowance	80,984	sf	\$	10.00	\$ 809,8	340				
West - Plaza Area Planters / Landscaping / Irrigation	58,055	sf	\$	6.00	\$ 348,3	330				
West - Planter Walls / Footings	4,477	lf	\$	135.00	\$ 604,3	395				
West - Ornamental Fence	479	lf	\$	65.00	\$ 31,	135				
West - Ornamental Fence Double Gates	15	ea	\$ Subto	850.00	\$ 12,7		•	1 906 450		
			Subto	itai			\$	1,806,450		
			TOTA	L DIVISION 3	2				\$	1,806,450
DIVISION 33 - SITE UTILITIES Site Electrical										
New Primary Switch/Site Transformer	1	ls	\$	210,000						
Primary Ductbank	1	ls	\$	45,000	\$ 45,0		_	055 000		
Site Storm Drainage			Subto	otal			\$	255,000		
Allow for Storm Drainage Adjustments at Site	1	ls	\$	80,000	\$ 80,0	000				
• .			Subto		· ·		\$	80,000		
Site Fire/Domestic Water										
Allow for Domestic Water Adjustments at Site	1	ls	\$	15,000	\$ 15,0	)00				
Allow for Fire Line Adjustments at Site	1	ls	\$	20,000						
And the time and Adjustments at One	ı	10	Subto		÷ 20,0		\$	35,000		
Site Distribution										
Allow for Primary Power Adjustments at Site	1	ls	\$	50,000	\$ 50,0	000				
Allow for Telecom Adjustment at Site	1	ls	\$	30,000						
•										

Site Sanitary

Site Lighting

Allow Site Lighting

Subtotal

Subtotal

100,000 \$

100,000

\$

ls

80,000

100,000

## **Detail Stadium West**

Stephen F. Austin State University
Gensler Dallas
SD Estimate - Stadium, Fieldhouse
September 5, 2018

Concourse	15,351	sf	
Club	7,263	sf	
Suite	8,885	sf	
Press	8,681	sf	
TOTAL	40,180	sf	

SEE SUMMARY FOR MARKUPS

DESCRIPTION	QTY	UNIT	U	NIT COST	ΕX	CTENSION	Sl	JBTOTAL		TOTAL
Allow for Sanitary Adjustments	1	ls	\$	40,000.00	\$	40,000				
			Subt	otal			\$	40,000	•	
Site Accessories										
Flag Poles	3	ea	\$	5,000	\$	15,000				
Site Furnishings	1	ls	\$	50,000	\$	50,000				
Monument Sign	1	ls	\$	30,000	\$	30,000				
			Subt	otal			\$	95,000		
			TOT	AL DIVISION :	33				\$	685,000
			SUB	TOTAL CONS	STRUC	TION			\$	24,231,450

 Concourse
 5,004 sf

 TOTAL
 5,004 sf

43,300 9,600					
	ΛΛ				
2,252					
8,660					
32,500					
5,000					
10,000					
3,000					
NER					
4,400					
1,000					
2,752					
2,132	JZ	\$	122,464	<u> </u>	
				\$	122,464
37,190	٩n				
9,261					
14,950					
14,330	30	\$	61,402	?	
				\$	61,402
				۲	01,102
63,973					
24,500					
1,090	90	\$	89,563	-	
			•		
50.000	^^				
56,800					
5,680					
12,070	70	\$	74,550	_	
		Ψ	14,550	,	
32,526	26				
48,660					
70,000	UU	\$	81,186	<u> </u>	
29,600	00				
13,760					
110,000					
177,900					
270,000					
508,860					
61,200					
110, 477, 270, 508, 61,	,0 ,9 ,0 ,8 ,2	,000 ,900 ,000 ,860	,000 ,900 ,000 ,860 ,200 ,760	,000 ,900 ,000 ,860 ,200	,000 ,900 ,000 ,860 ,200 ,760

 Concourse
 5,004
 sf

 TOTAL
 5,004
 sf

DESCRIPTION	QTY	UNIT	UNIT COST	E.	XTENSION	SUBTOTAL			TOTAL
			Subtotal			\$	1,493,080		
Miscellaneous Concrete									
Hoisting	1.5	mos	\$ 45,000.00		67,500				
Misc Concrete	15,624	sf	\$ 1.25	\$	19,530	\$	87,030		
			Subtotal			Þ	67,030		
			TOTAL DIVISION	03				\$	1,825,409
DIVISION 04 - MASONRY									
CMU Walls w/ Face Brick at Concourse Buildings	9,202	sf	\$ 42.00		386,467				
Scaffolding	9,202	sf	\$ 1.50	\$	13,802	\$	400,270		
			TOTAL DIVISION	04		*	100,210	\$	400,270
			TOTAL DIVISION	04				Þ	400,270
DIVISION 05 - METALS Stairs & Metal Railings									
East - Railings at Seating - Lower Bowl	331	If	\$ 175.00	\$	57,925				
East - Railings at Seating - Upper Bowl	240	if	\$ 175.00		42,000				
			Subtotal			\$	99,925		
Miscellaneous									
Miscellaneous Steel	2	ton	\$ 5,500.00 Subtotal	\$	11,000	\$	11,000		
						Ψ	11,000		
			TOTAL DIVISION	05				\$	110,925
DIVISION 06 - WOOD AND PLASTICS									
Millwork SS Counter	198	If	\$ 300	\$	59,400				
Service Counter	59	If	\$ 300		17,700				
Millwork - Allow Not Shown	5,004	sf	\$ 0.50		2,502				
	-,		Subtotal	•	_,-,	\$	79,602		
Rough Carpentry/Blocking									
Rough Carpentry / Blocking	5,004	sf	\$ 0.50	\$	2,502	\$	2,502		
						Þ	2,302		
			TOTAL DIVISION	06				\$	82,104
DIVISION 07 - THERMAL & MOISTURE PROTECTION									
Insulation/Waterproofing Insulation/Weather Proofing at Exterior Skin	9,202	sf	\$ 4.00	\$	36,806				
modulation risoling at Extendit Stati	0,202	O1	Subtotal		00,000	\$	36,806		
Roofing									
TPO Roofing - Concourse Buildings	5,004	sf	\$ 10.00	\$	50,040	•	50.040		
			Subtotal			\$	50,040		
Caulking and Sealants	E 004	ct.	¢ 0.40	¢	10 500				
Caulking and Sealants	5,004	sf	\$ 2.10 Subtotal	Ъ	10,508	¢	40 500		
			Subtotal			\$	10,508		

 tember 5, 2018
 Concourse
 5,004
 sf

 TOTAL
 5,004
 sf

DIVISION 08 - DOORS AND GLAZING   Glass and Glazing   East - Upper Bowl Seaing - End Walls - 42° Glass Rail in Shoe   111   if   \$ 275.00   \$ 30.525   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 92.200   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 92.200   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 92.200   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 92.200   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 37.00   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 37.00   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 37.00   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 37.00   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 37.00   East - Upper Bowl Seaing - 30° Glass Rail in Shoe   461   if   \$ 200.00   \$ 37.00   East - Upper Bowl Seaing - 200.00   \$ 37.00   East - Upper Bowl Seaing - 200.00   East - Upper Bowl Seaing - 200.	DESCRIPTION	QTY	UNIT	UNIT	COST	EΣ	KTENSION	S	UBTOTAL		TOTAL
Class and Clazing   East - Upper Bowl Seaing - End Walls - 42" Class Rail in Shoe   111   15   \$ 275.00   \$ 30.525   \$ 22,725   \$				TOTAL D	OIVISION (	07				\$	97,355
Class and Clazing   Enst - Upper Bowl Seaing - 2nd Walls - 42" Class Rail in Shoe   111   if   \$ 275.00   \$ 30,525   \$ 30,225   \$ 22,725   \$	DIVISION 08 - DOORS AND GLAZING										
East - Upper Bowt Seaing - End Walls - 42° Glass Rail in Shoe	Glass and Glazing										
East - Upper Bowl Seaing - 30" Glass Rail in Shoe	East - Upper Bowl Seaing - End Walls - 42" Glass Rail in Shoe	111	lf	\$	275.00	\$	30,525				
Exterior Doors   Concession Single   2   ea   \$   1,850   \$   3,700   Concession Single   2   ea   \$   1,850   \$   3,700   Concession Overhead Colling Door   4   ea   8   7,500   \$   30,000   Concession Overhead Colling Door   4   ea   8   7,500   \$   30,000   Concession Overhead Colling Door   4   ea   8   7,500   \$   30,000   Concession Overhead Colling Door   4   ea   8   7,500   \$   30,000   Concession Overhead Colling Door   4   ea   8   7,500   \$   30,000   Concession Overhead Colling Coll	East - Upper Bowl Seaing - 30" Glass Rail in Shoe	461	lf		200.00	\$				_	
Concession Single   2   ea   \$   1,850   \$   3,700	Exterior Doors			Subtotal				\$	122,725		
Baltinom Single		2	00	¢	1 950	¢	3 700				
Concession Overhead Coiling Door											
Interior Doors and Frames   Allow for Doors											
Allow for Doors	Concession Overnead Colling Door	4	еа		7,500	Ą	30,000	\$	37,400	-	
Allow for Doors											
Subtotal		1	ls	\$ 1	4.800 00	\$	14 800				
Partitions   See Masonry   Subtotal   See Masonry   Subtotal   See Masonry   Subtotal   See Masonry   See Mason	7 HOT 101 20010		10			Ψ	17,000	\$	14,800	-	
Partitions   See Masonry   Subtoal   Subtoa				TOTAL D	IVISION	08				\$	174,925
Partitions   See Masonry   Subtotal   Sub	DIVIGION OF EINIGHE										
See Masonry   Subtotal   Subto											
Ceilings (Other than Gypboard)   Washable Lay-in Ceiling											
Ceilings (Other than Gypboard)         Washable Lay-in Ceiling       1,503       sf       \$ 5.50       \$ 8,267         Open to Structure       2,868       sf       \$ 1,00       \$ 2,868         Subtotal       \$ 11,135         Paint CMU       11,590       sf       \$ 1,50       \$ 17,385         Misc Painting       5,004       sf       \$ 0.50       \$ 2,502         Subtotal       \$ 19,887         Flooring         Flooring - Sealed Concrete       4,146       sf       \$ 2.00       \$ 8,292         TOTAL DIVISION 09       \$ 8,292         TOTAL DIVISION 09       \$ 39,31         DIVISION 10 - SPECIALTIES         Seating         East - New Plastic Seats at Upper Bowl       2,000       seats       \$ 250.00       \$ 500,000         East - ADA Seats       46       seats       \$ 300.00       \$ 13,800         Subtotal       \$ 51,380         Subtotal       \$ 500,000       \$ 500,000       \$ 500,000       \$ 13,800         Seating         Seating       \$ 300,00       \$ 13,800       \$ 51,800	See Masorry			Subtotal				¢		-	
Mashable Lay-In Ceiling				Subtotal				Ą	-		
Open to Structure         2,868 s subtotal         \$ 1.00 s subtotal         \$ 11,135           Paint / Wall Covering Paint CMU 11,590 sf \$ 1.50 s 17,385 subtotal         \$ 17,385 subtotal         \$ 19,887           Misc Painting         5,004 sf \$ subtotal         \$ 0.50 s 2,2502 subtotal         \$ 19,887           Flooring Flooring - Sealed Concrete         4,146 sf \$ subtotal         \$ 8,292 subtotal         \$ 39,31           DIVISION 10 - SPECIALTIES Seating East - New Plastic Seats at Upper Bowl East - ADA Seats         2,000 seats \$ 250.00 s 500,000 subtotal         \$ 500,000 subtotal         \$ 39,31           Signage/Branding Room and Directional Signage         5,004 sf \$ subtotal         \$ 1,501 subtotal         \$ 11,501 subtotal         \$ 1,501											
Paint / Wall Covering   Paint CMU											
Paint / Wall Covering	Open to Structure	2,868	sf		1.00	\$	2,868	•	11 135	-	
Paint CMU   11,590   sf   \$ 1.50   \$ 17,385				Oubtotal				Ψ	11,100		
Misc Painting   5,004   sf   1,000											
Flooring   Flooring - Sealed Concrete   4,146   sf   Subtotal											
Flooring - Sealed Concrete   4,146   sf   2.00   \$ 8,292   Subtotal	Misc Painting	5,004	sf		0.50	\$	2,502	•	10 887	-	
Flooring - Sealed Concrete				Oubtotai				Ψ	13,007		
Subtotal   \$8,292											
TOTAL DIVISION 09   \$ 39,31	Flooring - Sealed Concrete	4,146	sf			\$	8,292	\$	8 292	-	
DIVISION 10 - SPECIALTIES   Seating								*	0,202		
Seating           East - New Plastic Seats at Upper Bowl         2,000 seats \$ 250.00 \$ 500,000           East - ADA Seats         46 seats \$ 300.00 \$ 13,800           Signage/Branding           Room and Directional Signage         5,004 sf \$ 0.30 \$ 1,501           Subtotal \$ 1,501           Toilet Accessories				TOTAL D	IVISION	09				\$	39,314
East - New Plastic Seats at Upper Bowl   2,000   seats   \$ 250.00   \$ 500,000	DIVISION 10 - SPECIALTIES										
East - ADA Seats       46 seats Subtotal       \$ 300.00 \$ 13,800         Signage/Branding Room and Directional Signage       5,004 sf Subtotal       \$ 0.30 \$ 1,501         Toilet Accessories       Subtotal       \$ 1,501											
Subtotal   \$ 513,800			seats	\$							
Signage/Branding Room and Directional Signage  5,004 sf \$ 0.30 \$ 1,501  Subtotal \$ 1,501	East - ADA Seats	46	seats			\$	13,800	_	F40 000	-	
Room and Directional Signage         5,004         sf         \$ 0.30         \$ 1,501           Subtotal         \$ 1,501				Subtotal				\$	513,800		
Subtotal \$ 1,501  Toilet Accessories											
Toilet Accessories	Room and Directional Signage	5,004	sf		0.30	\$	1,501			_	
				Subtotal				\$	1,501		
	Toilet Accessories										
		8	ea	\$	1,200.00	\$	9,600				

 Concourse
 5,004
 sf

 TOTAL
 5,004
 sf

DESCRIPTION	QTY	UNIT		UNIT COST	E	EXTENSION	SU	IBTOTAL		TOTAL
Standard Floor Mounted HDPE Toilet Partition	38	ea	\$	1,000.00	¢	38,000				
Urinal Screen	12	ea	\$		\$	5,400				
Assumed Sanitary Napkin Disposal	39	ea	\$	65.00	\$	2,535				
Assumed ADA Grab Bar Set	9	ea	\$	255.00	\$	2,295				
Assumed Paper Towel Dispenser W/Trash Receptacle	13	ea	\$	275.00		3,575				
Assumed Small Mirror	28	ea	\$	145.00		4,060				
Assumed Toilet Tissue Dispenser	48	ea	\$	65.00		3,120				
Assumed Wall Mounted Soap Dispenser	22	ea	\$	65.00		1,430				
			Sub	ototal			\$	70,015	•	
Wall Protection										
Corner/Wall Guards	1	ls	\$	1,000	\$	1,000			_	
			Sub	ototal			\$	1,000		
Fire Protection Specialties										
Fire Extinguishers and Cabinets	4	ea	\$	300.00 ototal	\$	1,200	\$	1,200		
							φ	1,200		
			TO	TAL DIVISION 1	10				\$	587,516
DIVISION 11 - EQUIPMENT										
			Sub	ototal			\$	•	•	
			TO:	TAL DIVISION A					•	
			101	TAL DIVISION 1	11				\$	•
DIVISION 12 - FURNISHINGS										
			Sub	ototal			\$	-	•	
			TO1	TAL DIVISION 1	12				\$	-
									•	
DIVISION 13 - SPECIAL CONSTRUCTION										
			Sub	ototal			\$	-	•	
			TO	TAL DIVISION 1	13				\$	-
DIVISION 21 - FIRE PROTECTION  Fire Protection										
Sprinkler System	5,004	sf	\$	3.50	\$	17,514				
			Sub	ototal			\$	17,514		
			TO	TAL DIVISION 2	21				\$	17,514
DI UNDINO										
DIVISION 22 - PLUMBING Plumbing Equipment										
Plumbing Equipment Plumbing Pumps/Equipment	5,004	sf	\$	1.75	\$	8,757				
r tumbing r umps/Equipment	5,004	31		ototal	Ψ	0,131	\$	8,757	-	
			Jul	Actai			Ψ	0,131		
Plumbing Fixtures										
Lav(Note Says Wall Hung But Looks Like in Counter	26	ea	\$	650.00	\$	16,900				

 Concourse
 5,004 sf

 TOTAL
 5,004 sf

DESCRIPTION	QTY	UNIT		UNIT COST		EXTENSION	S	UBTOTAL	TOTA		
Wo			•	4 000 00	•	40.000					
WC	48	ea	\$	1,000.00		48,000					
Urinal	14	ea	\$	1,000.00		14,000					
Wall Hung Lav	2	ea	\$	850.00		1,700					
Carriers	64	ea	\$	215.00		13,760					
Rough-In Fixtures	90	ea	\$	750.00		67,500					
Auto Conserve Closet	48	ea	\$	460.00	\$	22,080					
Auto Sensor for Sink	26	ea	\$ Sub	510.00 ototal	\$	13,260	\$	197,200			
Sanitary Waste/Vent Piping											
	5,004	sf	¢	4.00	¢	20,016					
Sanitary Waste & Vent Piping Floor Drains/Floor Sinks	5,004	ls	\$ \$	3,800		3,800					
Floor Dialits/Floor Siliks	ı	15	_	total	Ą	3,000	\$	23,816			
Donostie Weter											
Domestic Water  Domestic Piping & Valves	5,004	sf	\$	4.50	\$	22,518					
, •	,		Sub	total			\$	22,518			
Natural Gas											
Natural Gas Distribution	5,004	sf	\$	1.50	\$	7,506	•	7.506			
			Suc	total			\$	7,506			
Storm Drainage	5.004	,	•	0.00	•	40.000					
Storm Drainage	5,004	sf	\$ Sub	2.00	\$	10,008	\$	10,008			
Miscellaneous	5.004	,	•	0.40	•	0.000					
Testing	5,004	sf	\$	0.40		2,002					
Miscellaneous Plumbing	5,004	sf	\$ Sub	1.00 ototal	\$	5,004	\$	7,006			
				TAL DIVISION 2	2			•	\$	276,8	
					-				*	,0	
IVISION 23 - MECHANICAL HVAC CHW/HW Equipment											
HVAC	5,004	sf	\$	20.00	\$	100,080					
	5,55	٥.		total	<u> </u>	,	\$	100,080			
			TO	AL DIVISION 2	23				\$	100,0	
MICION 2C ELECTRICAL											
VISION 26 - ELECTRICAL Secondary Distribution											
Work at Existing Panels	1	ls	\$	5,000.00	¢	5,000					
Work at Existing Fallois	ı	15	_	total	Ψ	3,000	\$	5,000			
Motor Connections											
Motor and Equipment Connections	5,004	sf	\$	1.50	\$	7,506					
			Sub	total			\$	7,506			
Distribution											
Feeders/Motor and Equipment	5,004	sf	\$	2.00	\$	10,008					
Lighting Branch - Conduit/Wire	5,004	sf	\$	5.00	\$	25,020					
Power Branch - Conduit/Wire	5,004	sf	\$	4.00	Φ.	20,016					

 Concourse
 5,004
 sf

 TOTAL
 5,004
 sf

DESCRIPTION	QTY	UNIT	UNIT C	OST	ĒΣ	CTENSION	SUBTOTAL			TOTAL
			Subtotal				\$	55,044		
Building Lighting										
Building Lighting	5,004	sf	\$	8.00	\$	40,032				
Building Lighting Control	5,004	sf	\$	1.00	\$	5,004			_	
			Subtotal				\$	45,036		
Devices										
Receptacles/Switches/Plug/Wiremold	5,004	sf	\$ Subtotal	1.75	\$	8,757	\$	8,757	=	
			Oubtotal				Ψ	0,737		
Site Miscellaneous										
Miscellaneous Electrical	5,004	sf	\$ Subtotal	0.50	\$	2,502	\$	2,502	_	
			Subtotal				Ψ	2,302		
Lightning Protection and Grounding	5,004	of	\$	2.00	¢	10,008				
Lightning Protection Grounding	5,004	sf sf	\$	0.80		4,003				
Glounding	3,004	31	Subtotal	0.00	Ψ	4,003	\$	14,011	=	
			TOTAL DI	VISION 2	26				\$	137,856
/ISION 27 - COMMUNICATIONS										
Data										
Data	5,004	sf	\$	4.50	\$	22,518			_	
A P 10 1			Subtotal				\$	22,518		
Audio-Visual	5,004	cf	\$	3.00	œ	15,012				
Audio Visual - Equipment Audio Visual - Rough-In	5,004	sf sf	\$ \$	1.50		7,506				
Addio Visual - Nough-III	3,004	31	Subtotal	1.50	Ψ	7,300	\$	22,518	=	
			TOTAL DI	VISION 2	27				\$	45,036
VISION 28 - SECURITY & FIRE ALARM										
Security Equipment/Cable										
Security	5,004	sf	\$	4.50	\$	22,518				
			Subtotal				\$	22,518	_	
Fire Alarm										
Fire Alarm	5,004	sf	\$	2.65	\$	13,261	•	40.004	_	
			Subtotal				\$	13,261		
			TOTAL DI	VISION 2	28				\$	35,779
VISION 31 - EARTHWORK										
Earthwork Many Evaporation	00.400		¢	14.00	¢.	060 400				
Mass Excavation	62,100	су	\$	14.00		869,400				
Haul Spoils	71,415	cy	\$	10.00		714,150				
Grading	90,000	sf	\$	0.35		31,500				
Building Pad Construction (Concourse Buildings)	445	cy	\$	25.00		11,120				
Fine Grade Parking and Walk Areas	54,000	sf	\$	0.50		27,000				
Termite Control	5,004	sf	\$	0.35	ф	1,751			_	

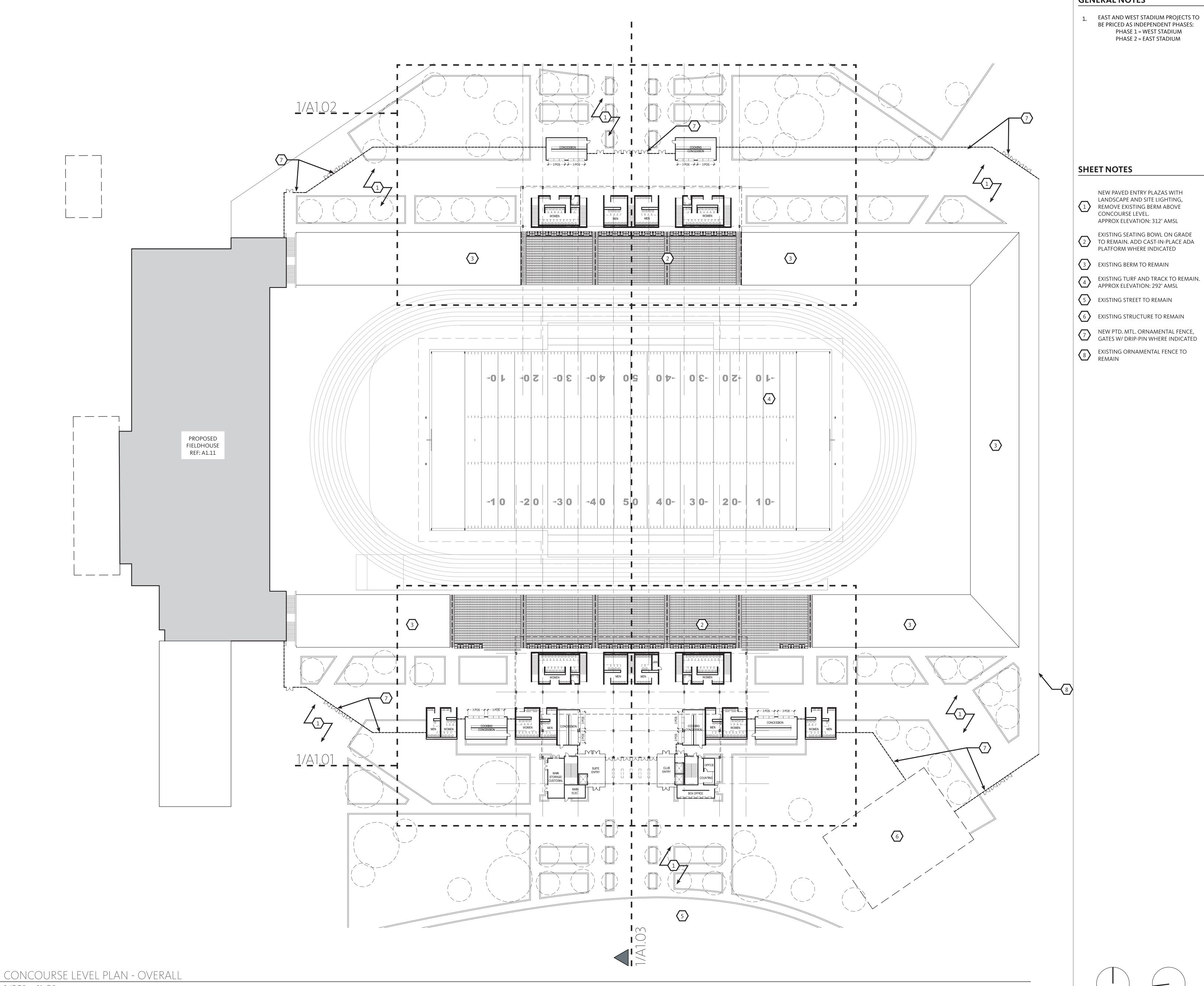
 Concourse
 5,004
 sf

 TOTAL
 5,004
 sf

DESCRIPTION	QTY	UNIT	ı	UNIT COST	EX	TENSION	TENSION SUBTOTAL			TOTAL
			Sub	total			\$	1,654,921		
Environmental										
SWPPP and Maintenance	1	ls	\$	3,500.00	\$	3,500				
SWPPP Construction Entrance	1,500	sf	\$	3.00	\$	4,500				
SWPPP Documentation	1	ls	\$	5,000.00		5,000				
			Sub	total			\$	13,000	_	
			тот	AL DIVISION 3	1				\$	1,667,92
IVISION 32 - EXTERIOR IMPROVEMENTS										
Pavements / Hard Scapes										
East - Plaza Area Paving / Hardscape Allowance	54,000	sf	\$	10.00		540,000				
East - Plaza Area Planters / Landscaping / Irrigation	35,200	sf	\$	6.00		211,200				
East - Planter Walls / Footings	2,760	lf	\$	135.00		372,600				
East - Ornamental Fence	675	lf	\$	65.00		43,875				
East - Ornamental Fence Double Gates	15	ea	\$ Sub	850.00 total	\$	12,750	\$	1 100 125	-	
			Sub	itotai			Þ	1,180,425		
			тот	TAL DIVISION 3	2				\$	1,180,42
VISION 33 - SITE UTILITIES										
Site Storm Drainage	4		•	50.000	•	50.000				
Allow for Storm Drainage Adjustments at Site	1	ls	\$ Sub	50,000 total	\$	50,000	\$	50,000	-	
Site Fire/Domestic Water										
Allow for Domestic Water Adjustments at Site	1	ls	\$	10,000	¢	10,000				
Allow for Fire Line Adjustments at Site	1	ls	\$ \$	15,000		15,000				
Allow for the Line Aujustinents at Site	1	15		total	φ	13,000	\$	25,000	-	
Site Distribution										
Allow for Primary Power Adjustments at Site	1	ls	\$	30,000	\$	30,000				
Allow for Telecom Adjustment at Site	1	ls	\$	15,000		15,000				
,				total		-,	\$	45,000	-	
Site Lighting										
Allow Site Lighting	1	ls	\$	75,000	\$	75,000	_		-	
			Sub	total			\$	75,000		
Site Sanitary Allow for Sanitary Adjustments	4	Jo.	•	20,000.00	¢	20 000				
Allow tot Satiliary Aujustitietits	1	ls	\$ Sub	total	φ	20,000	\$	20,000	-	
			тот	AL DIVISION 3	3				\$	215,00
			SUE	TOTAL CONS	TRUC	ΓΙΟΝ			\$	7,178,10
			SEE	SUMMARY FOR	MARKI	JPS				







1. EAST AND WEST STADIUM PROJECTS TO BE PRICED AS INDEPENDENT PHASES:
PHASE 1 = WEST STADIUM
PHASE 2 = EAST STADIUM



STEPHEN F. AUSTIN STATE UNIVERSITY

Gensler | Sports 5420 LBJ FWY DALLAS TX 75240

JQ ENGINEERING 100 GLASS STREET DALLAS TX 75207

PURDY-McGUIRE 17300 DALLAS PARKWAY SUITE 300 DALLAS TX 75248

> 08/11/2018 PRICING PACKAGE (1) - STADIUM & FIELDHOUSE

NOT FOR CONSTRUCTION

PRICING PACKAGE

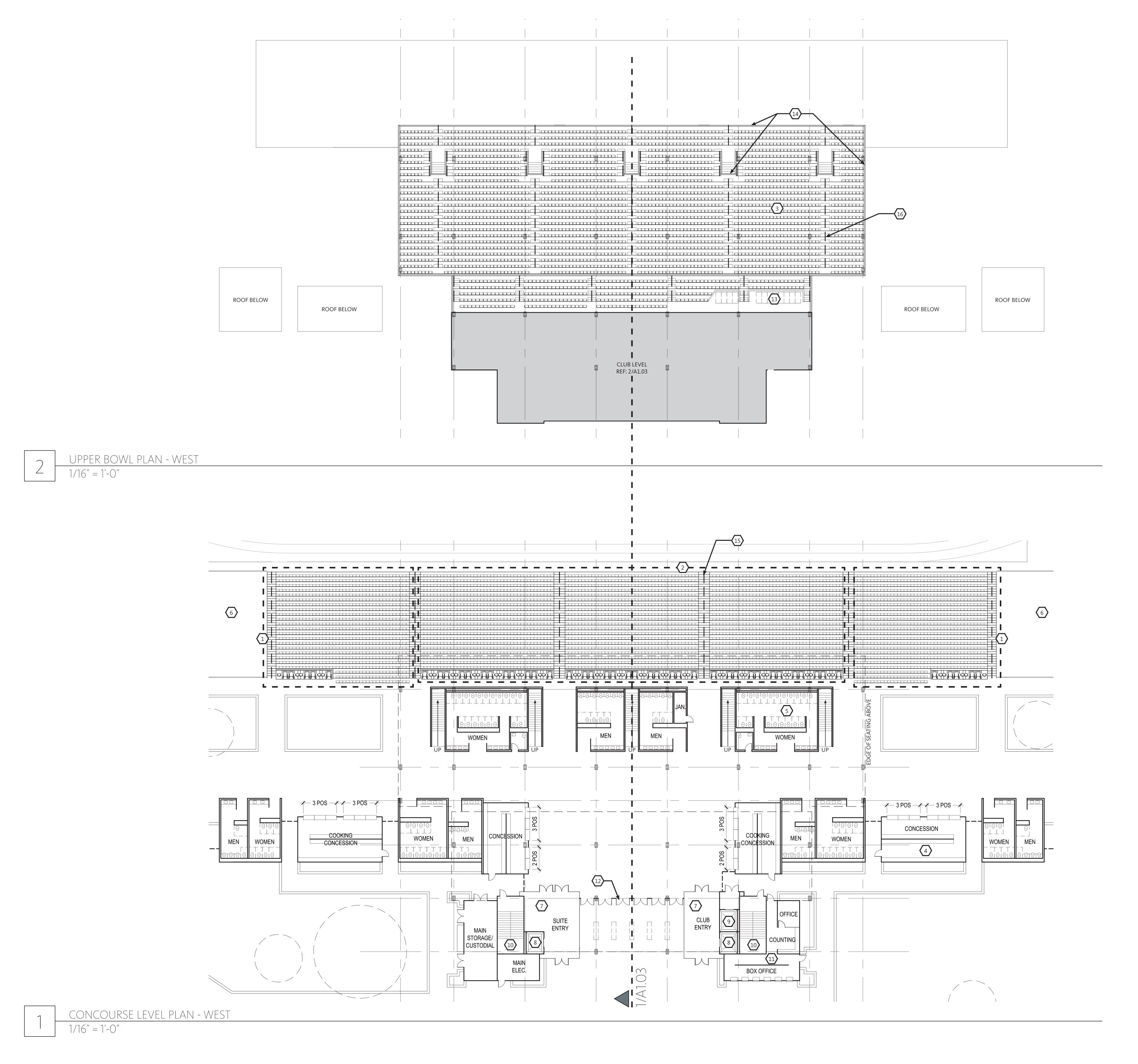
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SITE PLAN

1/32" = 1'-0"

TRUE NORTH

PLAN NORTH



EAST AND WEST STADIUM PROJECTS TO BE PRICED AS INDEPENDENT PHASES: PHASE 1 = WEST STADIUM PHASE 2 = EAST STADIUM



STEPHEN F. AUSTIN STATE UNIVERSITY

Gensler | Sports 5420 LBJ FWY DALLAS TX 75240

## SHEET NOTES

- NEW SEATING BOWL ON GRADE W/
  ALUMINUM BLEACHERS TO MATCH
  ADJACENT
- EXISTING SEATING BOWL ON GRADE
  TO REMAIN. ADD CAST-IN-PLACE ADA
  PLATFORM WITH 30" GUARDRAIL WHERE
  INDICATED. MINOR BOWL REMEDIATION
  AND REPAIRS TO SPALLING CONCRETE
- NEW ELEVATED PRECAST SEATING
  BOWL WITH SELF-RISING BLOW
  MOLDED PLASTIC STADIUM SEATS AND
  VOMITORIES WHERE INDICATED.
  REF: STRUCTURAL
- TYPICAL CONCOURSE CONCESSION:
  SEALED CONCRETE FLOOR, PTD. CMU
  WITH BRICK VENEER, CLEANABLE/
  WASHABLE LAY-IN CEILING. STAINLESS
  POS AND WORK COUNTERS, OVERHEAD
  COILING DOORS W/ FLY PANS AT
  OPENINGS
- TYPICAL CONCOURSE RESTROOM:
  SEALED CONCRETE FLOOR, PTD CMU
  WITH BRICK VENEER, CEILING OPEN TO
  STRUCTURE. WALL MOUNTED FIXTURES
  WITH FLOOR MOUNTED HDPE TOILET
  PARTITIONS
- 6 EXISTING GRASS BERM TO REMAIN
- PREMIUM ENTRIES: PORCELAIN TILE
  FLOOR, WINDOW WALL GLAZING AND
  DOORS W/ BRICK VENEER ON STL STUD
  SURROUND, PREMIUM LAY-IN CEILING
  AND LIGHTING
- PASSENGER ELEVATOR W/ PREMIUM FINISHES
- 9 SERVICE ELEVATOR W/ DIAMOND PLATE
- STEEL PAN EGRESS STAIR W/ CONCRETE TREAD AND PTD. STL HANDRAIL
- BOX OFFICE SUITE: CARPET TILE FLOOR
  W/ RUBBER BASE, PTD. GYP. ON STL. STUD
  W/ BRICK VENEER, LAY-IN CEILING, PLAM
  WORK SURFACES W/ PASS THROUGH
  TICKET WINDOWS B.O.D. CR LAURENCE
- PTD. MTL. ORNAMENTAL GATE WITH DROP-PIN

SCW102C

- ADA COMPLIANT SEATING PLATFORM W/ GLASS GUARDRAIL IN ALUMINUM SHOE
- GLASS GUARDRAIL IN ALUMINUM SHOE
  AT ALL FALL LOCATIONS. 30" HEIGHT AT
  SEATING, 42" HEIGHT AT END OF AISLES
- NEW BAR STOCK HANDRAIL @ EXISTING BOWL, TYP.
- NEW BAR STOCK HANDRAIL @ ALL BOWL AISLES, TYP.

JQ ENGINEERING 100 GLASS STREET DALLAS TX 75207

PURDY-McGUIRE 17300 DALLAS PARKWAY SUITE 300 DALLAS TX 75248

08/11/2018 PRICING PACKAGE (1) - STADIUM &

FIELDHOUSE

NOT FOR CONSTRUCTION

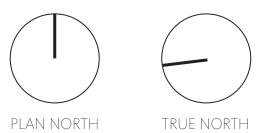
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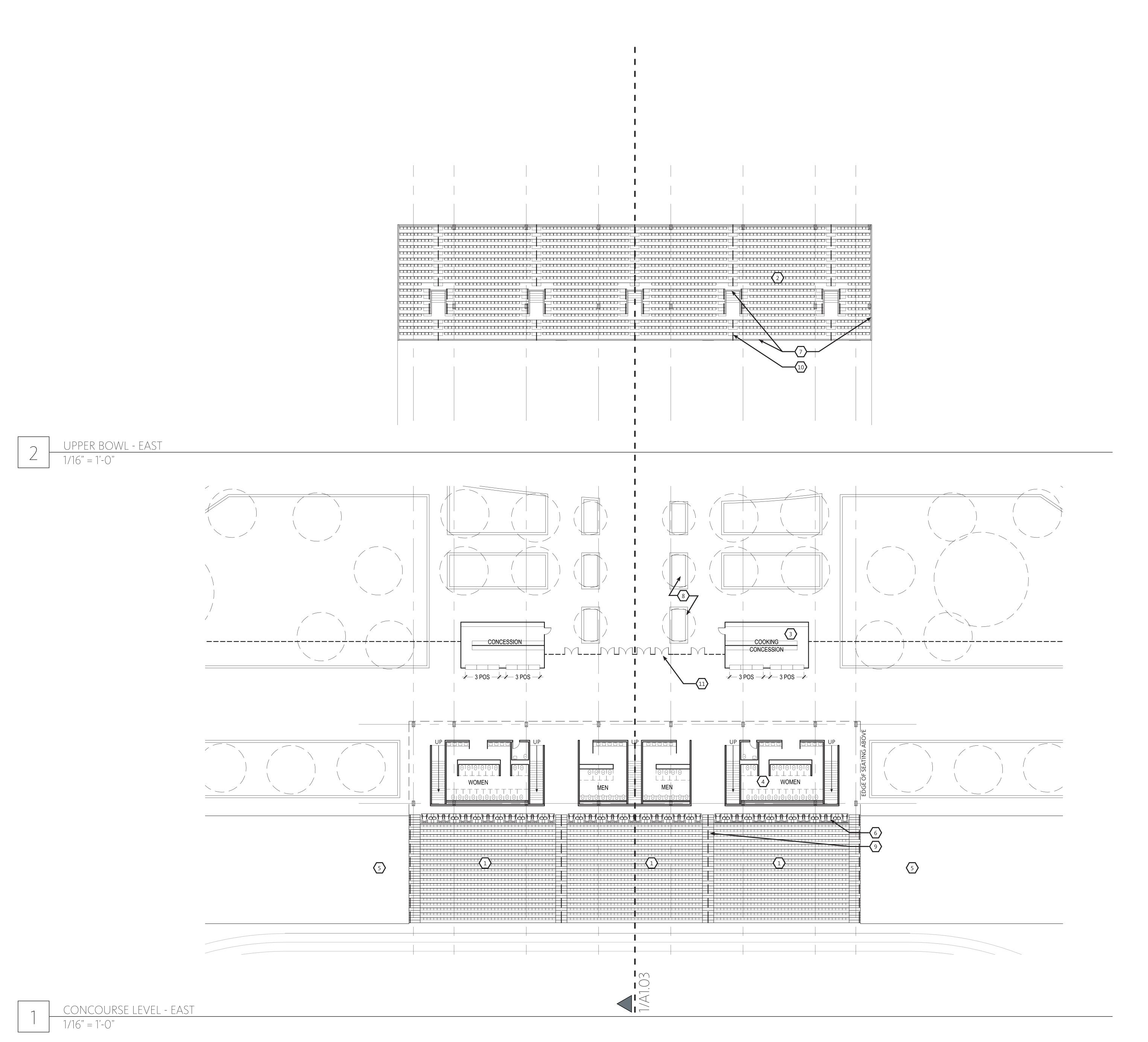
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ENLARGED PLAN

1/16" = 1'-0"







1. EAST AND WEST STADIUM PROJECTS TO BE PRICED AS INDEPENDENT PHASES:
PHASE 1 = WEST STADIUM
PHASE 2 = EAST STADIUM



STEPHEN F. AUSTIN STATE
UNIVERSITY

Gensler | Sports 5420 LBJ FWY DALLAS TX 75240

## SHEET NOTES

- EXISTING SEATING BOWL ON GRADE TO REMAIN. ADD CAST-IN-PLACE ADA PLATFORM WHERE INDICATED
- NEW ELEVATED PRECAST SEATING BOWL
  WITH SELF-RISING STADIUM SEATS AND
  VOMITORIES WHERE INDICATED.
  REF: STRUCTURAL
- TYPICAL CONCOURSE CONCESSION:
  SEALED CONCRETE FLOOR, PTD. CMU
  WITH BRICK VENEER, WASHABLE LAY
  IN CEILING. STAINLESS POS AND WORK
  COUNTERS, OVERHEAD COILING DOORS
  AT OPENINGS WITH FLY PANS
- TYPICAL CONCOURSE RESTROOM:
  SEALED CONCRETE FLOOR, PTD CMU
  WITH BRICK VENEER, CEILING OPEN TO
  STRUCTURE. WALL MOUNTED FIXTURES
  WITH HDPE TOILET PARTITIONS
- 5 EXISTING GRASS BERM TO REMAIN
- ADA COMPLIANT SEATING PLATFORM W/ GLASS GUARDRAIL IN ALUMINUM SHOE
- GLASS GUARDRAIL IN ALUMINUM SHOE
  AT ALL FALL LOCATIONS. 30" HEIGHT AT
  SEATING, 42" HEIGHT AT AISLES

NEW PAVED ENTRY PLAZAS WITH

- LANDSCAPE AND SITE LIGHTING,
  REMOVE EXISTING BERM ABOVE
  CONCOURSE LEVEL.
  APPROX ELEVATION: 312' AMSL
- NEW BAR STOCK HANDRAIL @ EXISTING BOWL, TYP.
- NEW BAR STOCK HANDRAIL @ ALL BOWL AISLES, TYP.
- PTD. MTL. ORNAMENTAL GATE WITH DROP-PIN

JQ ENGINEERING 100 GLASS STREET DALLAS TX 75207

PURDY-McGUIRE 17300 DALLAS PARKWAY SUITE 300 DALLAS TX 75248

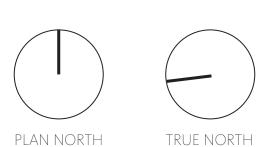
08/11/2018 PRICING PACKAGE (1) - STADIUM & FIELDHOUSE

NOT FOR CONSTRUCTION

PRICING PACKAGE

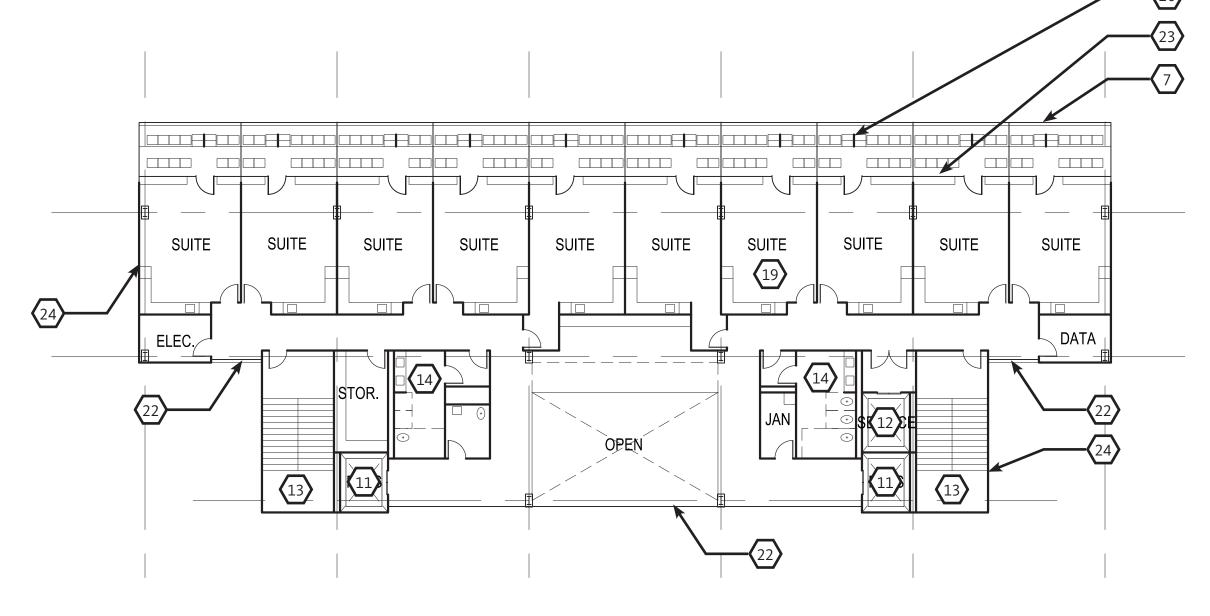
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ENLARGED PLAN

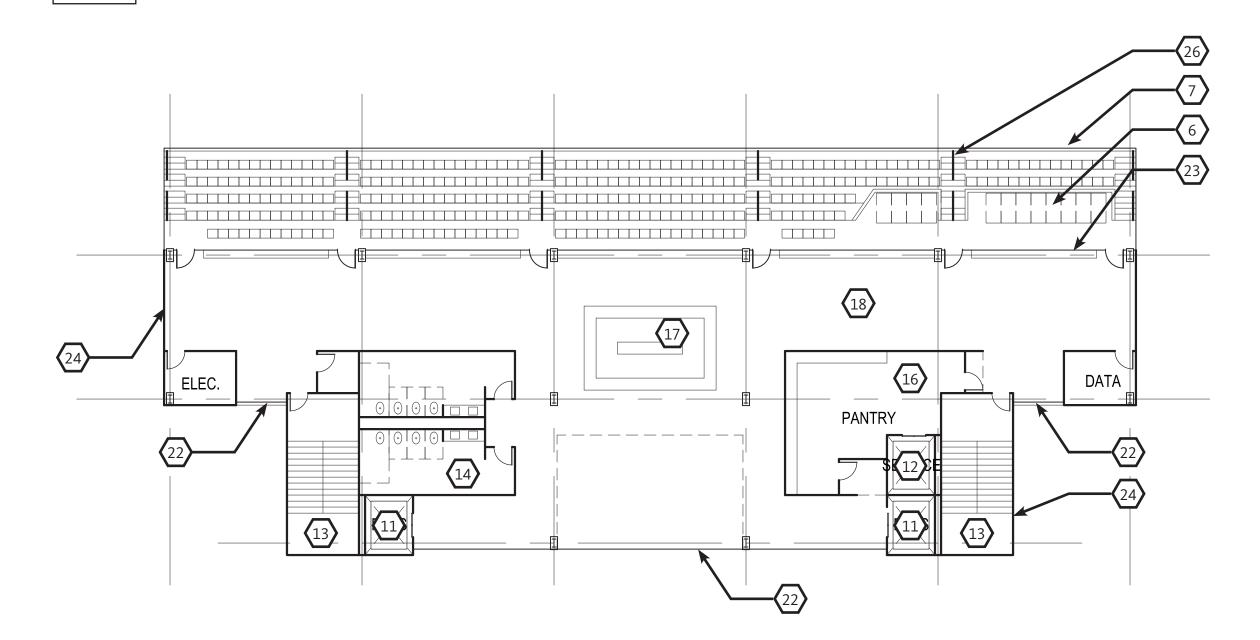


1/16" = 1'-0"

102

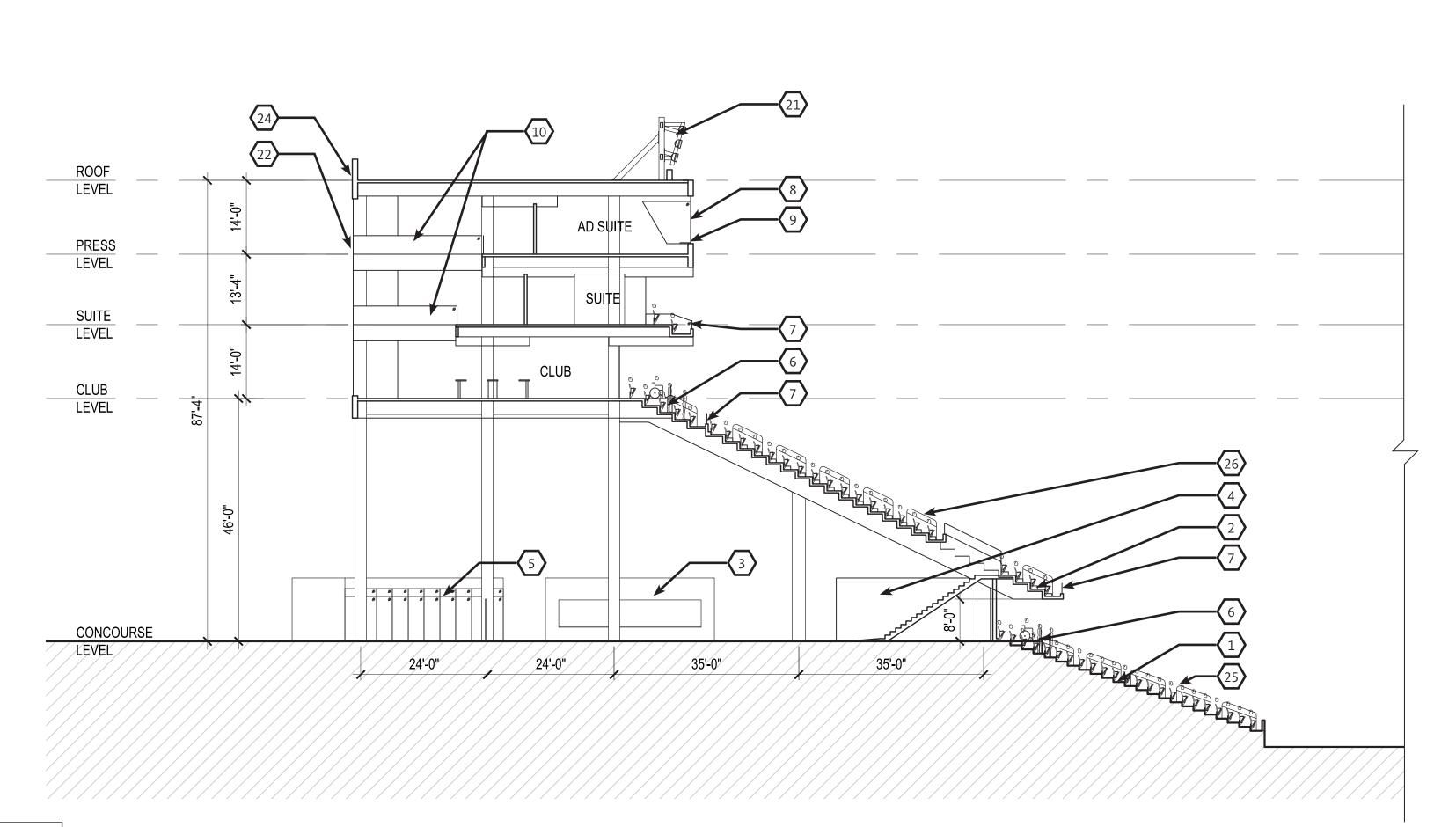


SUITE LEVEL PLAN 1/16" = 1'-0"



2 CLUB LEVEL PLAN

1/16" = 1'-0"



HOME

COACH

SUPPORT

RADIO

ATHLETICS
DIRECTOR VISITING VISITOR STAD.
COACH RADIO OPS

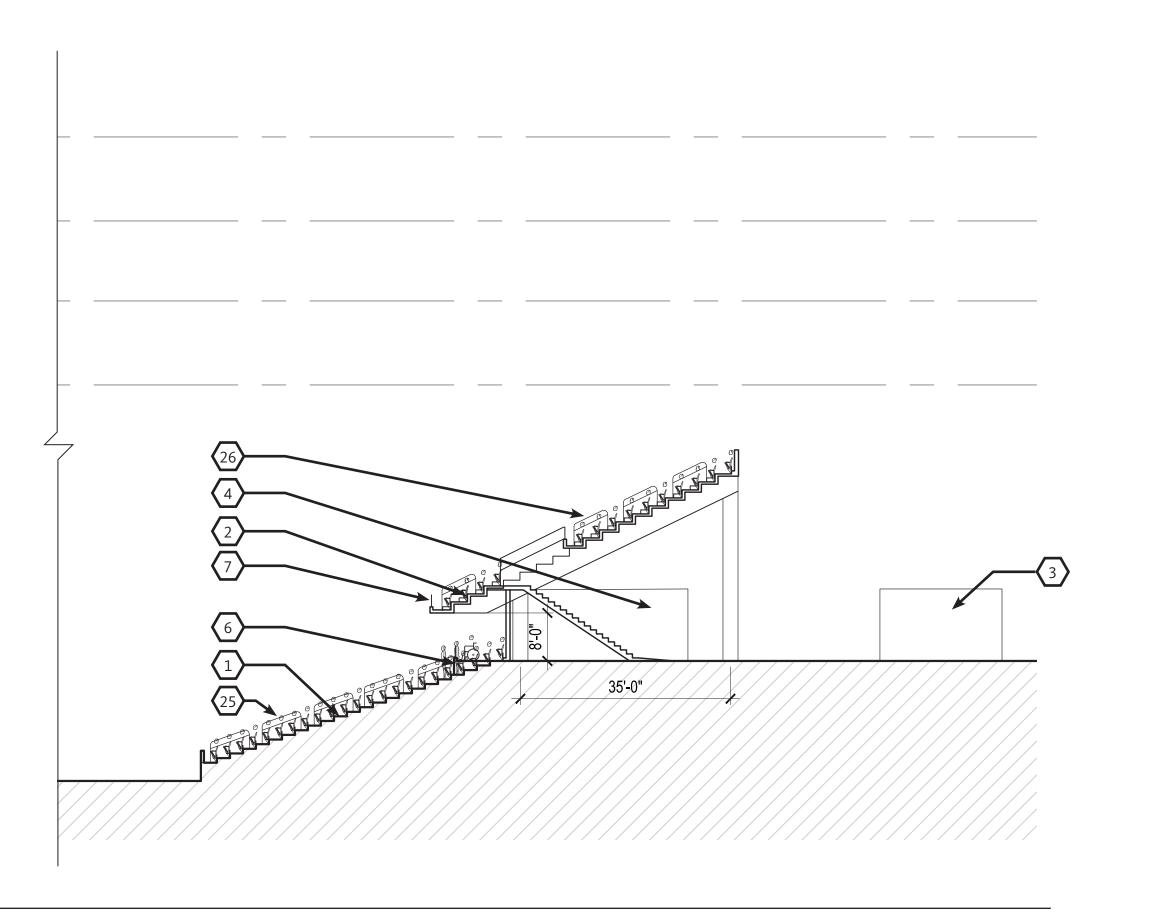
PANTRY \_\_\_\_\_

PRESS LEVEL PLAN

1/16" = 1'-0"

REPLAY SCORE OPS

DATA



**GENERAL NOTES** 

SHEET NOTES

STRUCTURAL

1. EAST AND WEST STADIUM PROJECTS TO BE PRICED AS INDEPENDENT PHASES:
PHASE 1 = WEST STADIUM
PHASE 2 = EAST STADIUM



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08/11/2018 PRICING PACKAGE (1) - STADIUM &

FIELDHOUSE

TYPICAL CONCOURSE RESTROOM:
SEALED CONCRETE FLOOR, PTD CMU
WITH BRICK VENEER, CEILING OPEN TO
STRUCTURE. WALL MOUNTED FIXTURES
WITH HDPE FLOOR MOUNTED TOILET
PARTITIONS

AT OPENINGS WITH FLY FANS

EXISTING SEATING BOWL ON GRADE

TO REMAIN. ADD CAST-IN-PLACE ADA PLATFORM W/ 30" GUARDRAIL WHERE

NEW ELEVATED PRECAST SEATING

VOMITORIES WHERE INDICATED. REF:

TYPICAL CONCOURSE CONCESSION:
SEALED CONCRETE FLOOR, PTD. CMU
WITH BRICK VENEER, WASHABLE LAY
IN CEILING. STAINLESS POS AND WORK

COUNTERS, OVERHEAD COILING DOORS

BOWL WITH SELF-RISING BLOW MOLDED PLASTIC STADIUM SEATS AND

PREMIUM ENTRIES: PORCELAIN TILE
FLOOR, WINDOW WALL GLAZING AND
DOORS W/ BRICK VENEER ON STL STUD
SURROUND, PREMIUM LAY-IN CEILING
AND LIGHTING

6 ADA COMPLIANT SEATING PLATFORM W/GLASS GUARDRAIL IN ALUMINUM SHOE

GLASS GUARDRAIL IN ALUMINUM SHOE
AT ALL FALL LOCATIONS. 30" HEIGHT AT
SEATING, 42" HEIGHT AT AISLES

LAMINATED GLAZING @ PRESS BOX.

OPERABLE GLAZING SYSTEM @ RADIO,
OPS, AND TV BOOTHS. B.O.D.: KAWNEER
ECLIPSE E3

9 PLAM PRESS COUNTER

LAMINATED GLASS GUARDRAIL IN ALUMINUM SHOE

PASSENGER ELEVATOR W/ PREMIUM FINISHES

SERVICE ELEVATOR W/ DIAMOND PLATE

STEEL PAN EGRESS STAIR W/ CONCRETE TREAD AND PTD. STL HANDRAIL

PREMIUM RESTROOMS: PORCELAIN TILE FLOOR, TILE WET WALL, WALL COVERING AT NON-WET WALLS, PTD GYP CEILING, SOLID SURFACE COUNTER TOPS, WALL MOUNTED FIXTURES

PRESS LEVEL RESTROOMS: CERAMIC TILE FLOOR, TILE WET WALL, WALL COVERING AT NON-WET WALLS, PTD GYP CEILING, SOLID SURFACE COUNTER TOPS, WALL MOUNTED FIXTURES

TYPICAL PANTRIES: CERAMIC TILE FLOORS, FRP FLOOR, CLEANABLE/WASHABLE LAY-IN CEILING

CLUB BAR

PREMIUM CLUB: CARPET WITH WOOD
ACCENTS, PTD GYP WALL W/ WOOD
BASE, CLOUD CEILINGS WITH GYP AND
PREMIUM LAY-IN, PREMIUM LIGHTING

TYPICAL SUITE: 60% CARPET 40% TILE
FLOOR, PTD GYP WALL W/ WOOD BASE,
PREMIUM LAY-IN AND GYP CEILING,
SOLID SURFACE COUNTER TOPS AND
PLAM MILLWORK

TYPICAL PRESS AREA: CARPET FLOOR,
PTD GYP WALL W/ RUBBER BASE, LAYIN CEILING, PLAM COUNTER TOPS
AND MILLWORK. ELEVATED 2ND ROW
SEATING (COMPOSITE DECK ON STL

TUBE STRUCTURE) WHERE INDICATED

LED SPORTS LIGHTING

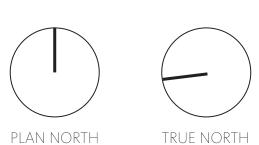
MULTI-LEVEL CURTAINWALL GLAZING SYSTEM

WINDOW WALL GLAZING SYSTEM W/DRINKRAIL

NON-GLAZED FACADE AREA TO BE 60% BRICK, 40% METAL PANEL B.O.D. CENTRIA FORMAWALL

NEW BAR STOCK HANDRAIL @ EXISTING BOWL, TYP.

NEW BAR STOCK HANDRAIL @ ALL BOWL AISLES, TYP.



1/16" = 1'-0"

**\1.03** 

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NOT FOR

PRICING PACKAGE

CONSTRUCTION

ENLARGED PLANS AND SECTION

 $1 \frac{\text{MIDFIELD SECTION}}{1/16" = 1'-0"}$ 

SHEET NOTES

TV SURROUND.

3 ORNAMENTAL STAIR

4 PASSENGER ELEVATOR

2 REACH-IN REFRIGERATOR

- 1. FIELDHOUSE PROJECT TO BE PRICED AS TWO INDEPENDENT PHASES:
  PHASE 1 = ALL SPACES EXCEPT
  WEIGHT ROOM
  PHASE 2 = WEIGHT ROOM
  - EXISTING FIELDHOUSE TO BE DEMOLISHED EXCEPT WHERE NOTED

PLAYERS LOUNGE: CARPET TILE FLOOR

MILLWORK AT NUTRITION CENTER AND

W/RUBBER BASE, PTD GYP WALLS,
CUSTOM PERFORATED, PTD MTL CEILING
CLOUD W/ GYP SURROLIND CUSTOM



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08/11/2018 PRICING PACKAGE (1) - STADIUM &

FIELDHOUSE

NOT FOR CONSTRUCTION

PRICING PACKAGE

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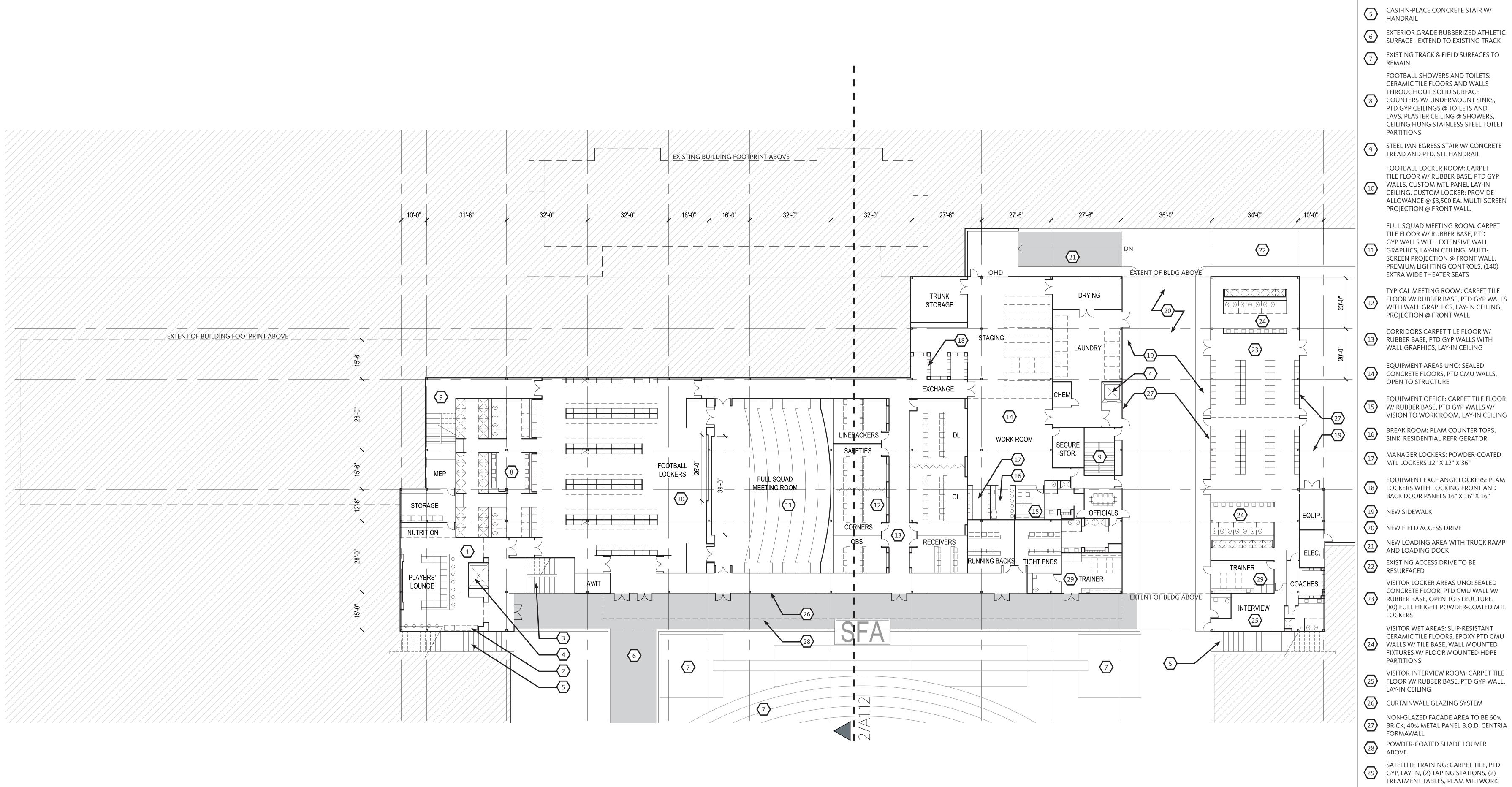
ENLARGED PLAN

1/16" = 1'-0"

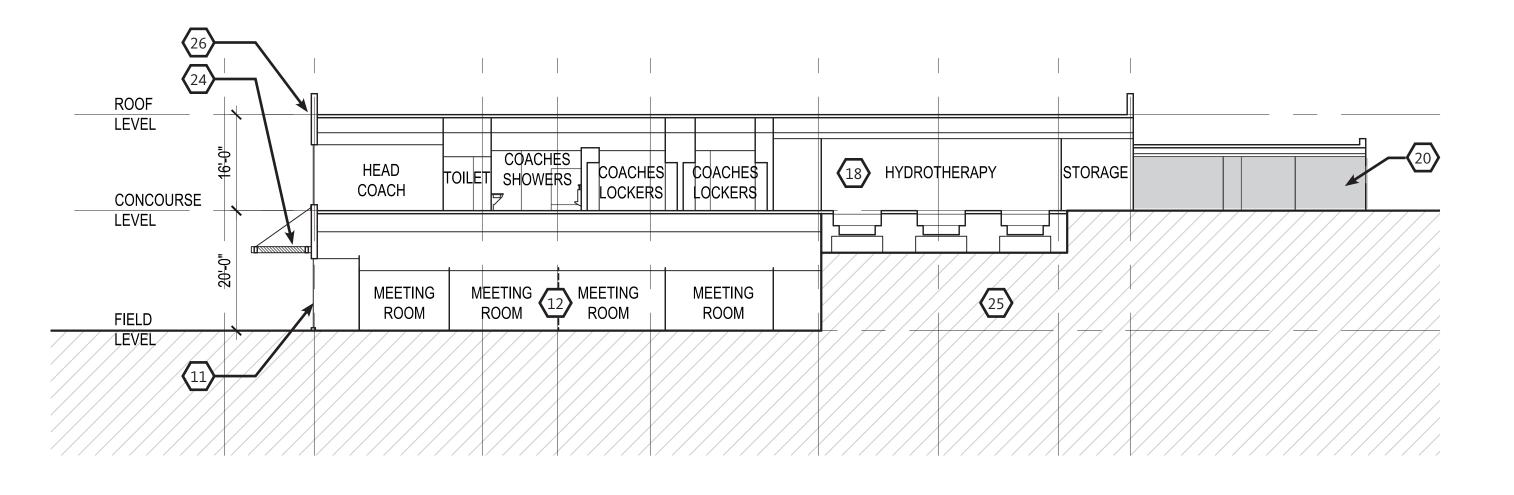
1.11

PLAN NORTH

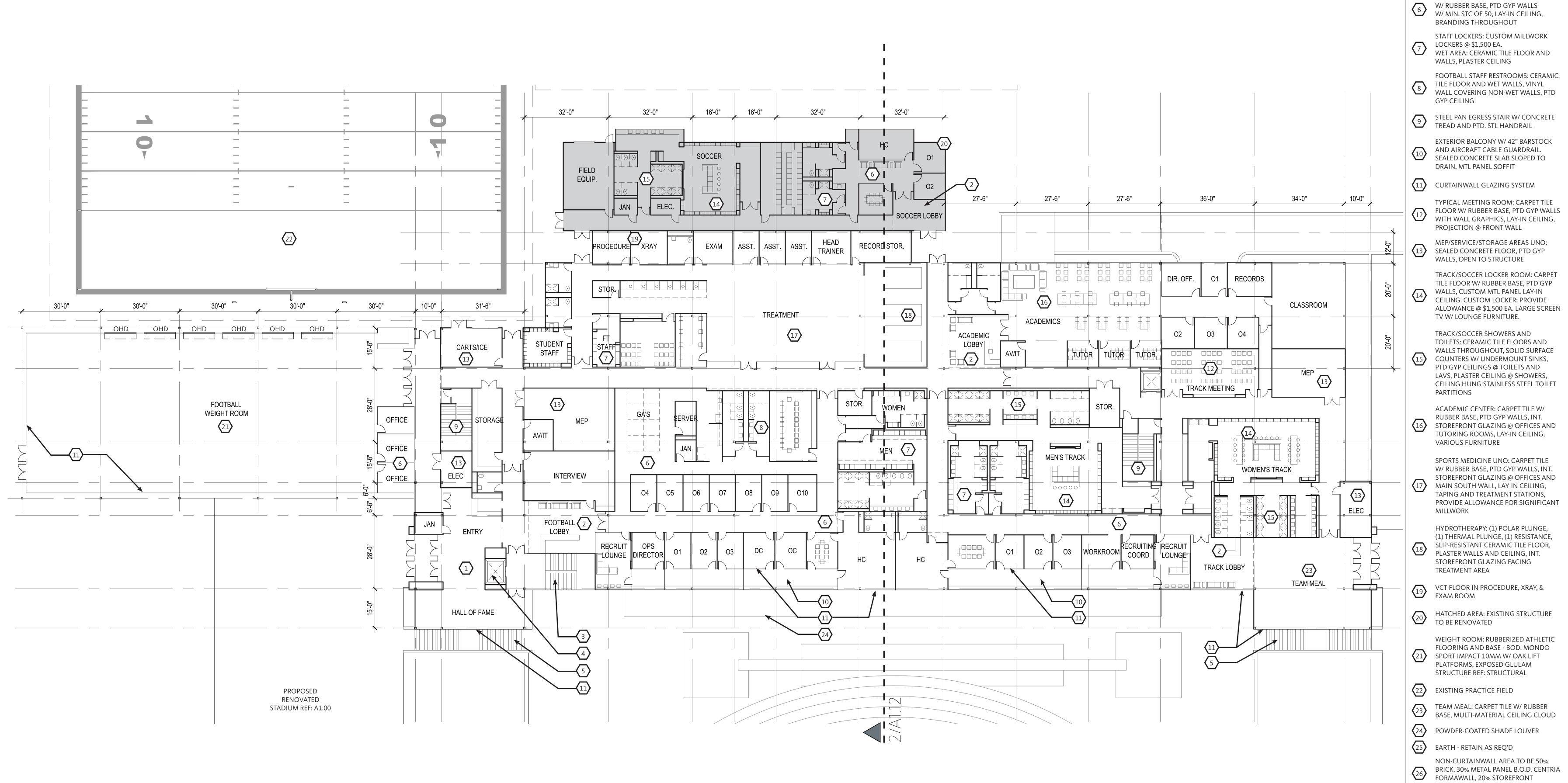
TRUE NORTH



1/16" = 1'-0"



CONCOURSE LEVEL PLAN 1/16" = 1'-0"



## **GENERAL NOTES**

SHEET NOTES

BRANDING

3 ORNAMENTAL STAIR

4 PASSENGER ELEVATOR

- 1. FIELDHOUSE PROJECT TO BE PRICED AS TWO INDEPENDENT PHASES: PHASE 1 = ALL SPACES EXCEPT **WEIGHT ROOM** PHASE 2 = WEIGHT ROOM
- EXISTING FIELDHOUSE TO BE DEMOLISHED EXCEPT WHERE NOTED

ENTRY/HALL OF FAME: HEAVY BRANDING, TERRAZZO FLOOR, PTD GYP

CAST-IN-PLACE CONCRETE STAIR W/ HANDRAIL

OFFICE SUITE UNO: CARPET TILE FLOOR

WALLS, MULTI-MATERIAL CEILING CLOUD

SPORT SPECIFIC LOBBY: CARPET TILE,



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2 PTD GYP, PREMIUM LAY-IN CEILING,

08/11/2018 PRICING PACKAGE (1) - STADIUM & FIELDHOUSE

NOT FOR CONSTRUCTION

PRICING PACKAGE

ENLARGED PLAN AND SECTION

1/16" = 1'-0"

GLAZING

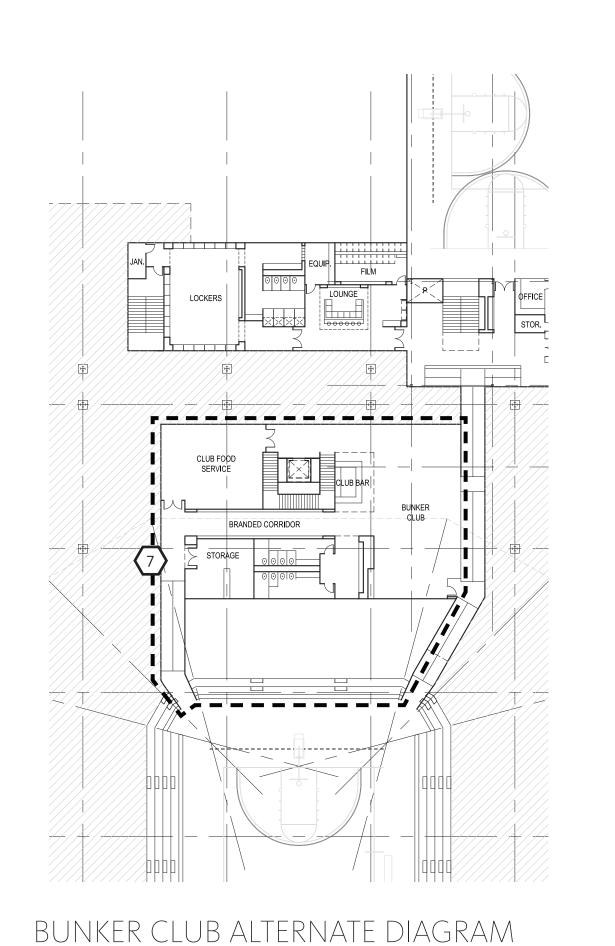
PLAN NORTH

TRUE NORTH

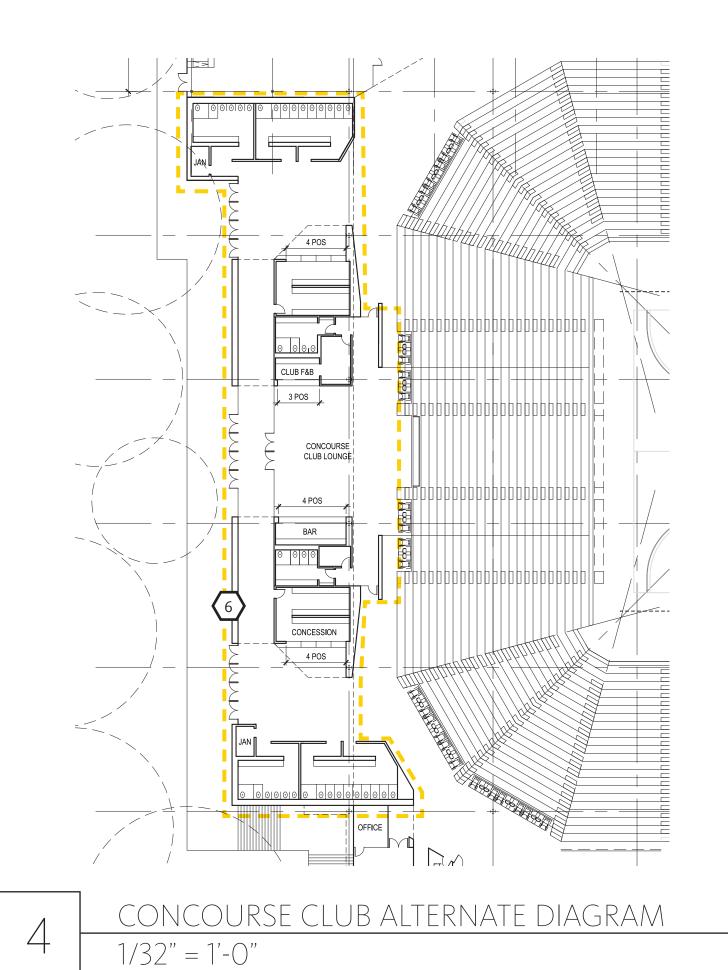
CONCOURSE LEVEL PLAN 1/16" = 1'-0"

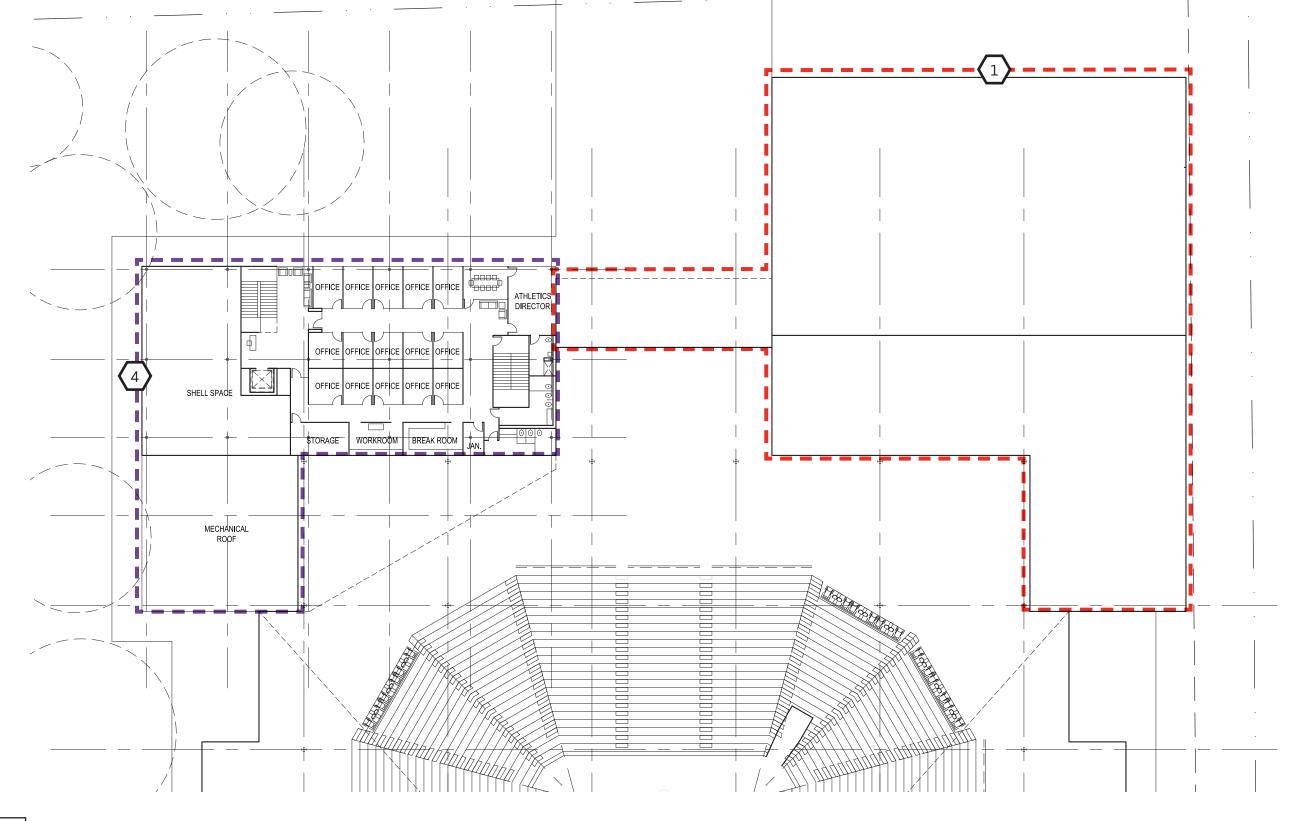
WEIGHT ROOM: RUBBERIZED ATHLETIC FLOORING AND BASE - BOD: MONDO

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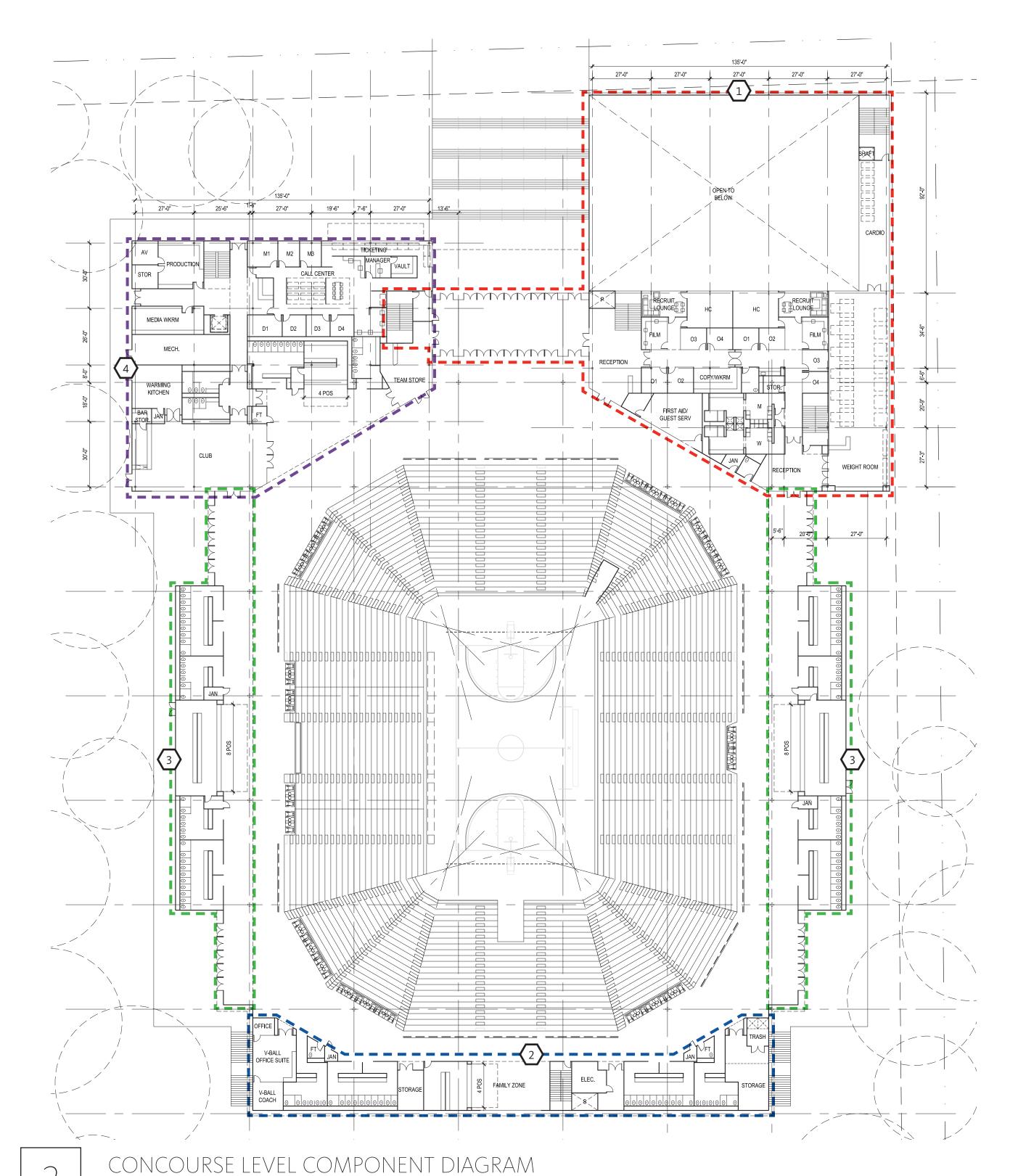
1/32" = 1'-0"





3 OFFICE LEVEL COMPONENT DIAGRAM

1/32" = 1'-0"



EVENT LEVEL COMPONENT DIAGRAM

1/32" = 1'-0"

## **GENERAL NOTES**

- 1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY
  A2.20 CONCOURSE LEVEL SOUTH RENOVATION
  A2.30 BASE CASE EAST/WEST ADDITIONS
  A2.40 NORTHWEST SUPPORT ADDITION
- A2.50 EVENT LEVEL SOUTH RENOVATION
  A2.60 WEST CLUB ADDITION
  A2.70 BUNKER CLUB ADDITION
  A2.80 BOWL REMEDIATION
- 2. OVERALL REFERENCE PLANS:
- A3.01 EVENT LEVEL
  A3.02 CONCOURSE LEVEL
  A3.03 OFFICE LEVEL

## SHEET NOTES

- BASKETBALL PRACTICE FACILITY
- CONCOURSE LEVEL SOUTH END AMENITIES RENOVATION
- CONCOURSE LEVEL BASE CASE EAST/
  WEST AMENITY ADDITIONS
- CONCOURSE & OFFICE LEVEL NORTHWEST SUPPORT ADDITION
- EVENT LEVEL SOUTH END VISITORS' FACILITIES RENOVATION
- CONCOURSE LEVEL WEST CONCOURSE CLUB ADDITION IN LIEU OF BASE CASE
- 7 BUNKER CLUB ADDITION

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08/18/2018 PRICING PACKAGE (2) - COLISEUM

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PRICING PACKAGE

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COMPONENT DIAGRAMS

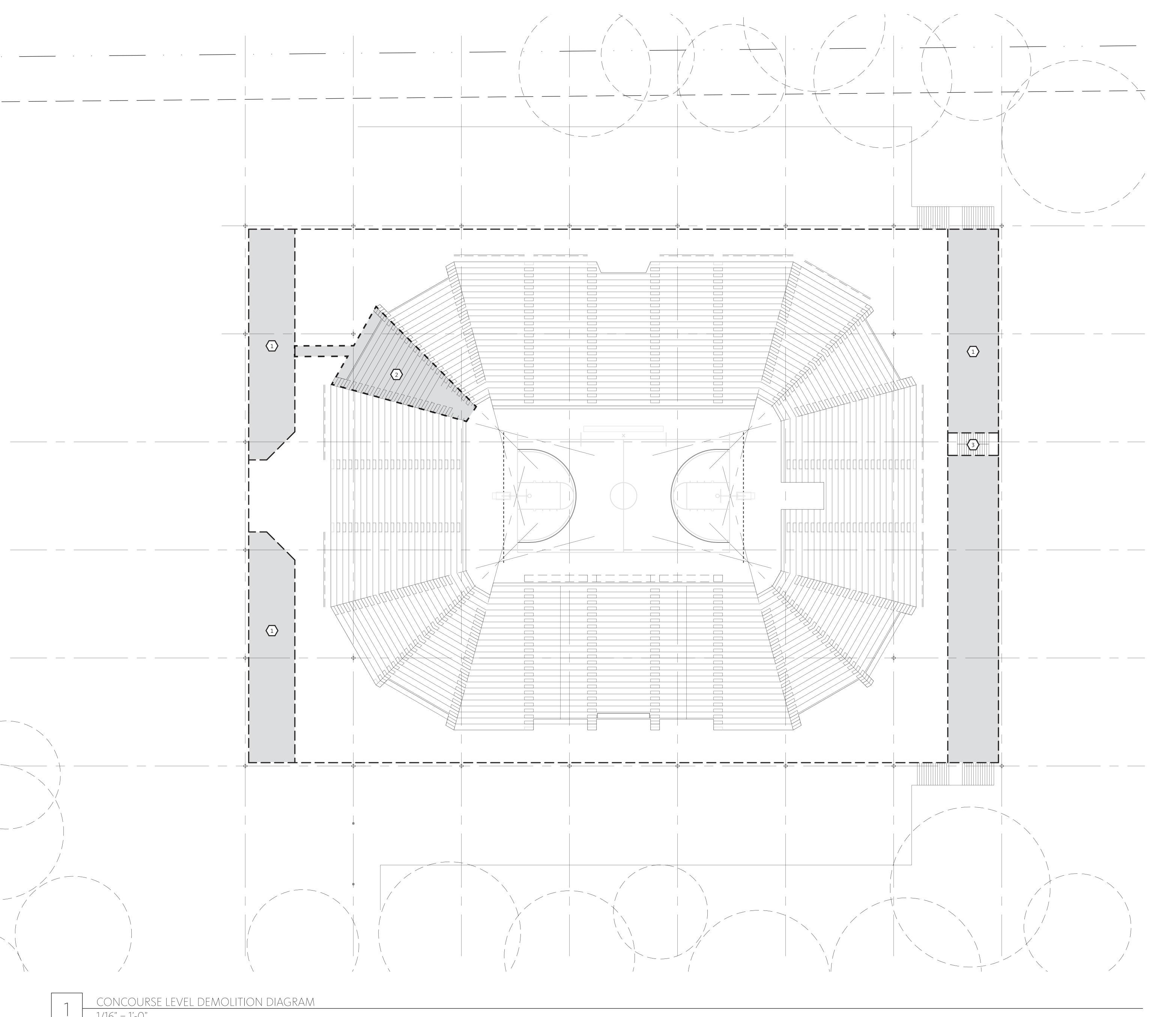
1/32" = 1'-0"





TRUE NORTH





- 1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY A2.20 CONCOURSE LEVEL SOUTH RENOVATION A2.30 BASE CASE EAST/WEST ADDITIONS A2.40 NORTHWEST SUPPORT ADDITION
- A2.50 EVENT LEVEL SOUTH RENOVATION A2.60 WEST CLUB ADDITION A2.70 BUNKER CLUB ADDITION A2.80 BOWL REMEDIATION
- 2. OVERALL REFERENCE PLANS:
- A3.01 EVENT LEVEL A3.02 CONCOURSE LEVEL A3.03 OFFICE LEVEL

## SHEET NOTES

- EXISTING PROGRAM TO BE DEMOLISHED DURING APPROPRIATE PHASE.
  REF: EXISTING FACILITY DOCUMENTS
- SELECT DEMOLITION AND EXCAVATION OF EXISTING SEATING BOWL AS REQ'D
  FOR ACCESS TUNNEL. APPROPRIATE
  EXTENTS TO BE DETERMINED BY **ESTIMATOR**
- 3 EXISTING STAIR TO REMAIN



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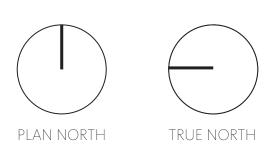
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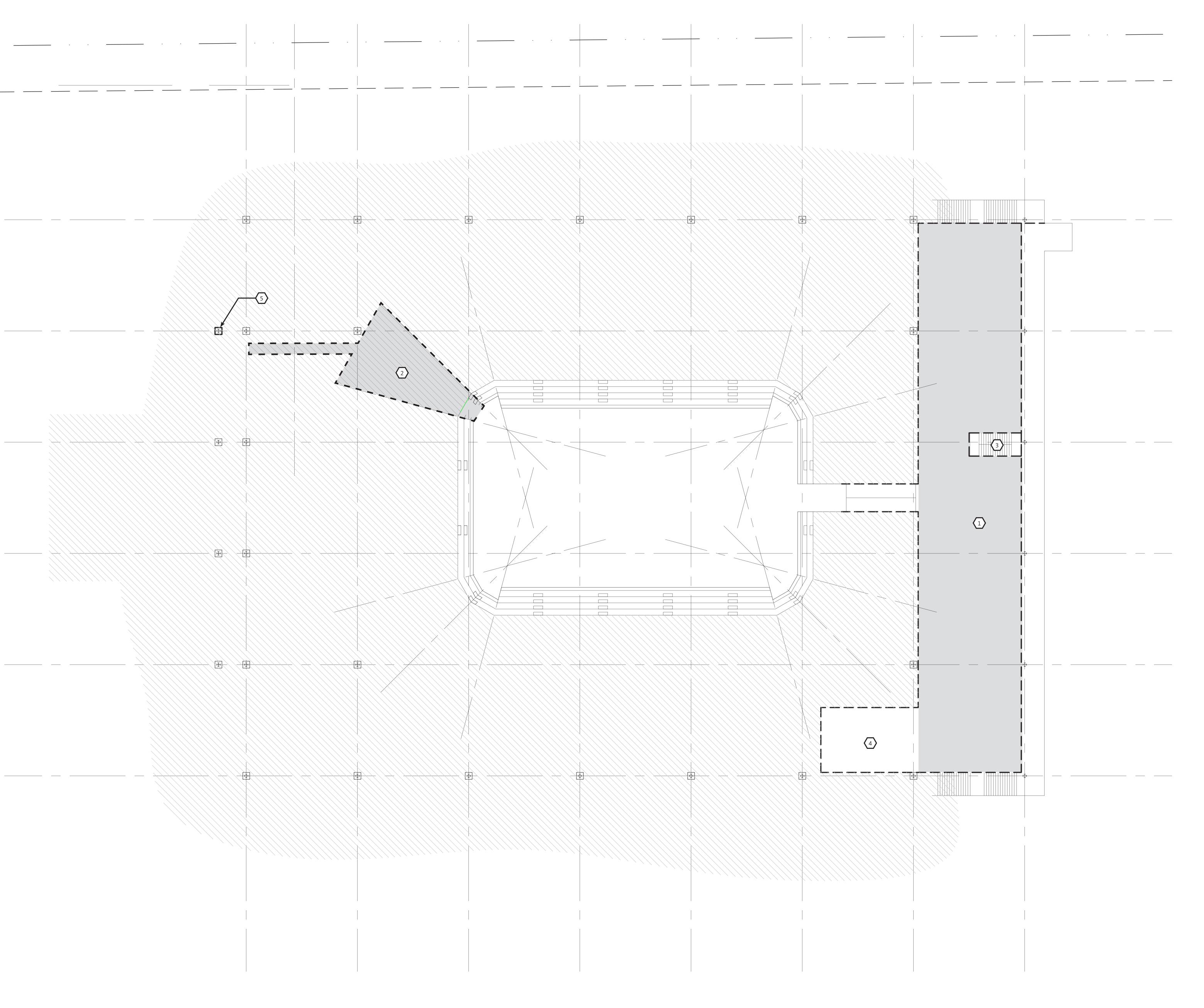
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DEMOLITION DIAGRAM

1/16" = 1'-0"

A2.01





 COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY
A2.20 CONCOURSE LEVEL SOUTH RENOVATION
A2.30 BASE CASE EAST/WEST ADDITIONS
A2.40 NORTHWEST SUPPORT ADDITION
A2.50 EVENT LEVEL SOUTH RENOVATION
A2.60 WEST CLUB ADDITION

A2.70 BUNKER CLUB ADDITION A2.80 BOWL REMEDIATION

2. OVERALL REFERENCE PLANS:

A3.01 EVENT LEVEL
A3.02 CONCOURSE LEVEL
A3.03 OFFICE LEVEL

## SHEET NOTES

EXISTING PROGRAM TO BE DEMOLISHED DURING APPROPRIATE PHASE.
REF: EXISTING FACILITY DOCUMENTS

SELECT DEMOLITION AND EXCAVATION
OF EXISTING SEATING BOWL AS REQ'D
FOR ACCESS TUNNEL. APPROPRIATE
EXTENTS TO BE DETERMINED BY
ESTIMATOR

3 EXISTING STAIR TO REMAIN

4 EXISTING MEP SPACE TO REMAIN

EXISTING DRILLED PIER TO BE REMOVED
AND RELOCATED INBOARD OF EXISTING
BUILDING FOOTPRINT REF: STRUCT



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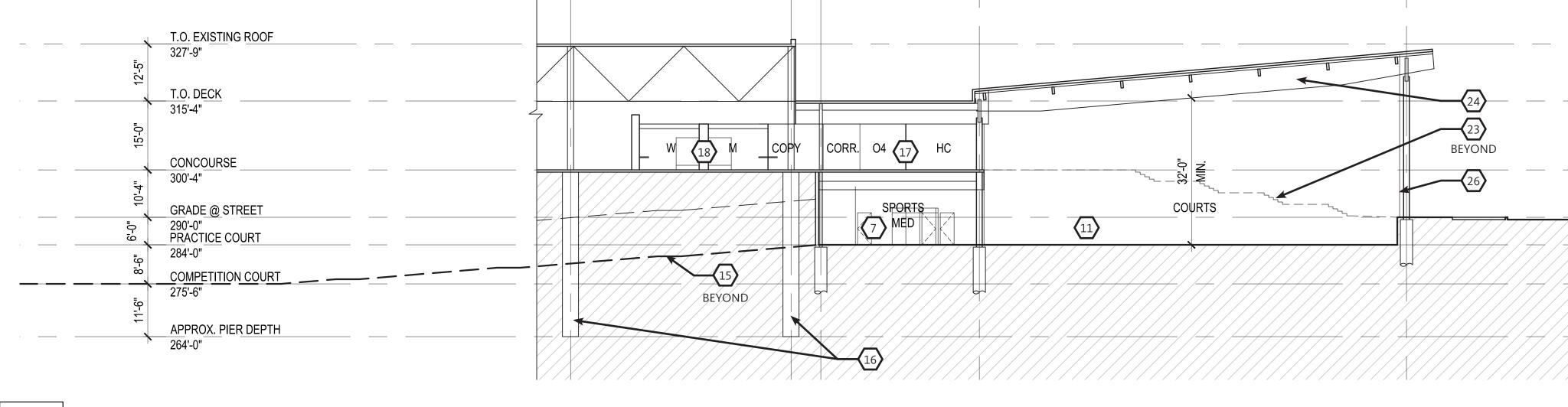
PRICING PACKAGE

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DEMOLITION DIAGRAM

1/16" = 1'-0"

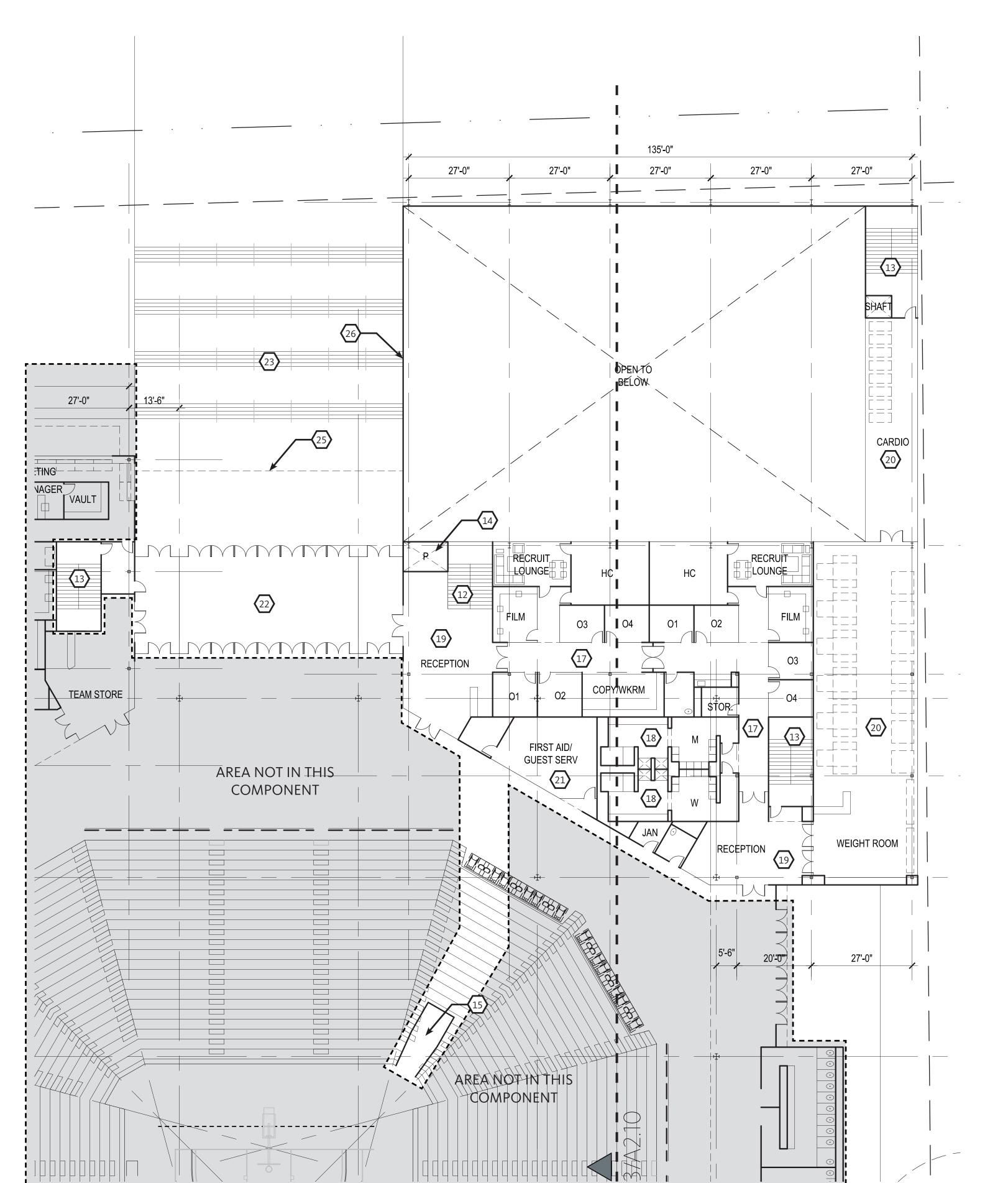




EVENT LEVEL PLAN

1/16" = 1'-0"

BUILDING SECTION 1/16" = 1'-0"



STORAGE LAUNDRY LOCKERS HYDRO 

**GENERAL NOTES** 

1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY A2.20 CONCOURSE LEVEL SOUTH RENOVATION A2.30 BASE CASE EAST/WEST ADDITIONS A2.40 NORTHWEST SUPPORT ADDITION A2.50 EVENT LEVEL SOUTH RENOVATION

A2.60 WEST CLUB ADDITION A2.70 BUNKER CLUB ADDITION A2.80 BOWL REMEDIATION

2. OVERALL REFERENCE PLANS:

A3.01 EVENT LEVEL A3.02 CONCOURSE LEVEL A3.03 OFFICE LEVEL

## SHEET NOTES

BASKETBALL LOCKER ROOM: CARPET TILE FLOOR W/ RUBBER BASE, PTD GYP WALLS, CUSTOM MTL PANEL LAY-IN CEILING. CUSTOM LOCKER: PROVIDE ALLOWANCE @ \$3,500 EA. MULTI-SCREEN PROJECTION @ FRONT WALL.

BASKETBALL SHOWERS AND TOILETS: CERAMIC TILE FLOORS AND WALLS THROUGHOUT, SOLID SURFACE 2 COUNTERS W/ UNDERMOUNT SINKS, PTD GYP CEILINGS @ LAVS, PLASTER CEILING @ SHOWERS, CEILING HUNG STAINLESS STEEL TOILET PARTITIONS

PLAYERS LOUNGE: CARPET TILE FLOOR W/RUBBER BASE, PTD GYP WALLS, CUSTOM PERFORATED MTL CEILING CLOUD W/ GYP SURROUND. CUSTOM MILLWORK AT NUTRITION CENTER AND TV SURROUND.

FILM ROOM: CARPET TILE FLOOR W/ RUBBER BASE, PTD GYP WALLS WITH EXTENSIVE WALL GRAPHICS, LAY-IN
CEILING PROJECTION 6 5300 CEILING, PROJECTION @ FRONT WALL, PREMIUM LIGHTING CONTROLS, OVERSIZE THEATER SEATS

EQUIPMENT ROOM: CARPET TILE, RUBBER BASE, PTD GYP WALLS, LAY-IN CEILING, EXTENSIVE PLAM MILLWORK AND WORK SURFACE

**EQUIPMENT EXCHANGE LOCKERS: PLAM** 6 LOCKERS WITH LOCKING FRONT AND BACK DOOR PANELS 12L" X 12D" X 18H"

SPORTS MEDICINE UNO: CARPET TILE W/ RUBBER BASE, INT. STOREFRONT GLAZING, LAY-IN CEILING, PROVIDE ALLOWANCE FOR SIGNIFICANT

HYDROTHERAPY: (1) POLAR PLUNGE, (1) THERMAL PLUNGE, SLIP-RESISTANT 8 CERAMIC TILE FLOOR, PLASTER WALLS AND CEILING, INT. STOREFRONT GLAZING FACING TREATMENT AREA

MANAGERS' LOCKERS: CARPET TILE, (9) RUBBER BASE, PTD GYP. POWDER-COATED MTL LOCKERS 12"X12"X36"

SUPPORT AREAS UNO: SEALED (10) CONCRETE FLOORS, PTD CMU WALLS, OPEN TO STRUCTURE

(11) NCAA QUALITY COURT SURFACE

MONUMENTAL STAIR

STEEL PAN EGRESS STAIR W/ CONCRETE TREAD AND PTD STL HANDRAIL

PASSENGER ELEVATOR

NEW COURT ACCESS TUNNEL. SELECT DEMOLITION OF EXISTING SEATING BOWL AS REQ'D. REF: STRUCTURAL

(16) EXISTING CONCRETE PIER REF: STRUCT OFFICE SUITE UNO: CARPET TILE FLOOR W/ RUBBER BASE, PTD GYP WALLS W/ MIN STC OF 50, LAY-IN CEILING,

BRANDING THROUGHOUT

STAFF LOCKERS: CUSTOM MILLWORK LOCKERS @ \$1,500 EA. WET AREA: CERAMIC TILE FLOOR AND WALLS, PLASTER CEILING

RECEPTION: CARPET TILE W/ RUBBER BASE, PTD GYP, PREMIUM LAY-IN,

WEIGHT ROOM: RUBBERIZED ATHLETIC FLOORING BOD: MONDO SPORT IMPACT 10MM W/ OAK LIFT PLATFORMS ON ISOLATED SLAB REF: STRUCT

GUEST SERVICES: VCI FLOOK, KUBBER BASE, PTD GYP WALL, LAY-IN CEILING

NEW ENTRY HALL ADDITION: TERRAZZO FLOOR, PTD GYP WALLS W/ VINYL WALL GRAPHICS, LAY-IN CEILING

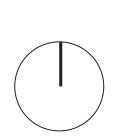
NEW C.I.P. STAIR. PROVIDE ALLOWANCE FOR (1) ADA COMPLIANT RAMP LOCATION: TBD

GLULAM BEAM REF: STRUCT

NEW POWDER-COATED ARCHITECTURAL ENTRY CANOPY ABOVE

CURTAINWALL GLAZING SYSTEM ABOVE GRADE @ PRACTICE COURTS. ALL OTHER FACADE AREAS TO BE 50% BRICK, 30% METAL PANEL, 20% GLAZING





TRUE NORTH



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08/18/2018 PRICING PACKAGE (2) - COLISEUM

NOT FOR CONSTRUCTION

PRICING PACKAGE

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BASKETBALL PRACTICE FACILITY

1/16" = 1'-0"

A2.10

CONCOURSE LEVEL PLAN 1/16" = 1'-0"

## AREA NOT IN THIS COMPONENT V-BALL OFFICE SUITE OOACH O

CONCOURSE LEVEL PLAN - SOUTH

1/16" = 1'-0"

## **GENERAL NOTES**

- 1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY
  A2.20 CONCOURSE LEVEL SOUTH RENOVATION
  A2.30 BASE CASE EAST/WEST ADDITIONS
  A2.40 NORTHWEST SUPPORT ADDITION
  A2.50 EVENT LEVEL SOUTH RENOVATION
- A2.50 EVENT LEVEL SOUTH RENOVATION
  A2.60 WEST CLUB ADDITION
  A2.70 BUNKER CLUB ADDITION
  A2.80 BOWL REMEDIATION
- 2. OVERALL REFERENCE PLANS:
- A3.01 EVENT LEVEL
  A3.02 CONCOURSE LEVEL
  A3.03 OFFICE LEVEL

## SHEET NOTES

- OFFICE SUITE: CARPET TILE FLOOR W/
  RUBBER BASE, PTD GYP WALLS, LAY-IN
  CEILING, BRANDING THROUGHOUT
- TYPICAL CONCOURSE RESTROOM:
  SEALED CONCRETE FLOOR, PTD CMU,
  LAY-IN CEILING, WALL MOUNTED
  FIXTURES W/ FLOOR MOUNTED HDPE
  TOILET PARTITIONS
- TYPICAL CONCESSION: SEALED
  CONCRETE FLOOR, PTD CMU,
  CLEANABLE/WASHABLE LAY-IN CEILING,
  STAINLESS POS AND WORK COUNTERS,
  OVERHEAD COILING DOORS @
  OPENINGS
- 4 EXISTING STAIR
- 5 NEW TWO-STOP SERVICE ELEVATOR
- SUPPORT AREAS UNO: SEALED CONCRETE FLOORS, PTD CMU WALLS, OPEN TO STRUCTURE
- 7 TRASH CHUTE TO BELOW
- ALL NEW CONCOURSE AREA TO BE CLEANED AND SEALED TO MATCH EXISTING



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08/18/2018 PRICING PACKAGE (2) - COLISEUM

NOT FOR

PRICING PACKAGE

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CONCOURSE LEVEL - SOUTH RENOVATION

1/16" = 1'-0"

A2.20

TRUE NORTH

PLAN NORTH

## 

CONCOURSE LEVEL PLAN - WEST

1/16" = 1'-0"

t------

1/16" = 1'-0"

## **GENERAL NOTES**

- 1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY
  A2.20 CONCOURSE LEVEL SOUTH RENOVATION
- A2.30 BASE CASE EAST/WEST ADDITIONS
  A2.40 NORTHWEST SUPPORT ADDITION
  A2.50 EVENT LEVEL SOUTH RENOVATION
- A2.60 WEST CLUB ADDITION
  A2.70 BUNKER CLUB ADDITION
  A2.80 BOWL REMEDIATION
- 2. OVERALL REFERENCE PLANS:
- A3.01 EVENT LEVEL
  A3.02 CONCOURSE LEVEL
  A3.03 OFFICE LEVEL

## SHEET NOTES

- TYPICAL CONCOURSE RESTROOM:
  SEALED CONCRETE FLOOR, PTD CMU,
  LAY-IN CEILING, WALL MOUNTED
  FIXTURES W/ FLOOR MOUNTED HDPE
  TOILET PARTITIONS
- TYPICAL CONCESSION: SEALED CONCRETE FLOOR, PTD CMU,

  CLEANABLE/WASHABLE LAY-IN CEILING, STAINLESS POS AND WORK COUNTERS, OVERHEAD COILING DOORS @

  OPENINGS
- SUPPORT AREAS UNO: SEALED
  CONCRETE FLOORS, PTD CMU WALLS,
  OPEN TO STRUCTURE
- EXPANDED CONCOURSE SEALED CONCRETE TO MATCH EXISTING
- 5 NEW PTD MTL EGRESS DOORS
- 6 EDGE OF EXISTING CONCOURSE
- FACADE AREA TO BE 70% BRICK VENEER, 30% METAL PANEL B.O.D. CENTRIA FORMAWALL



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PRICING PACKAGE

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BASE CASE EAST/WEST ADDITION

1/16" = 1'-0"



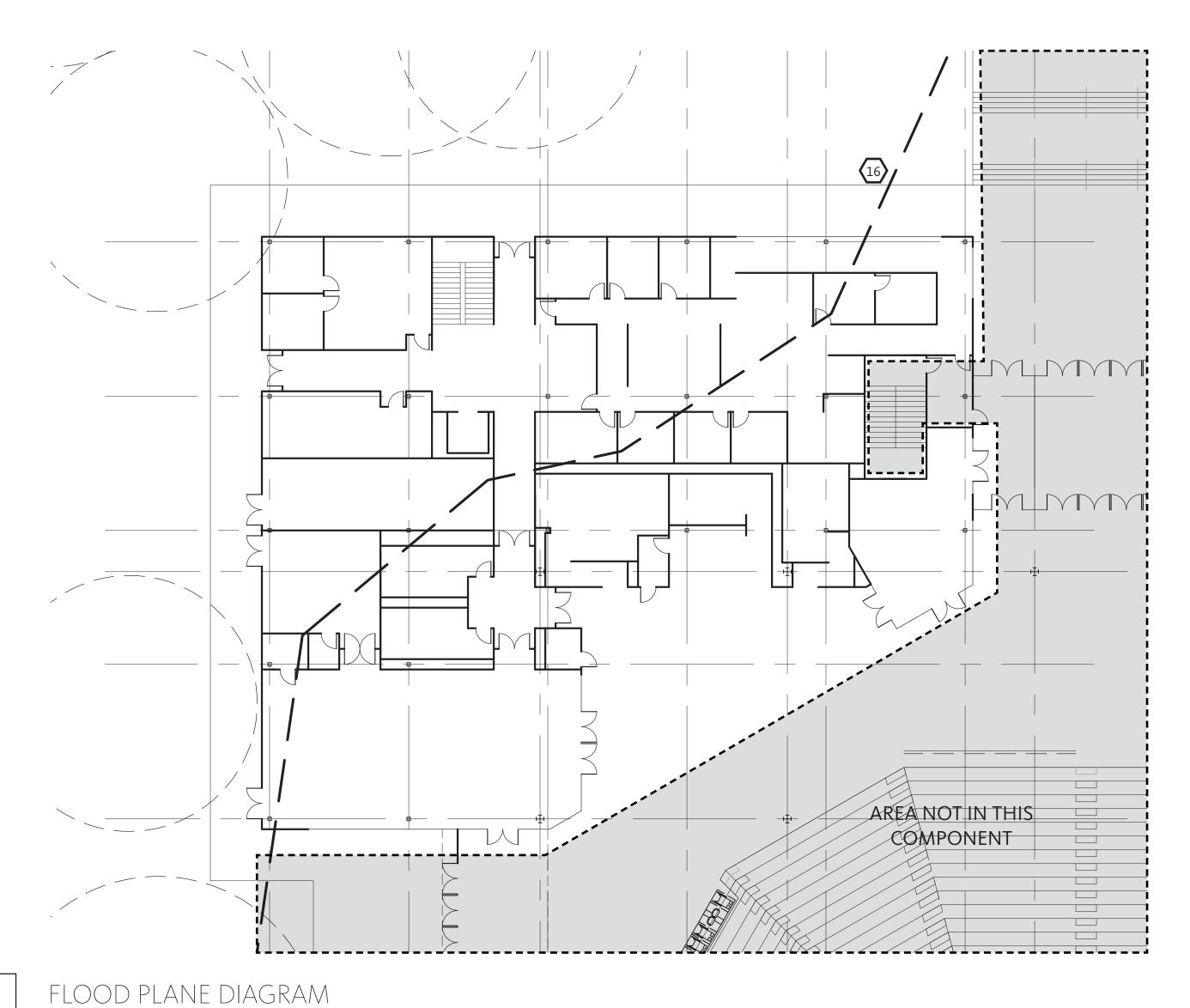
TRUE NORTH

PLAN NORTH



;-----<del>-</del>-----

AREA NOT IN THIS
COMPONENT



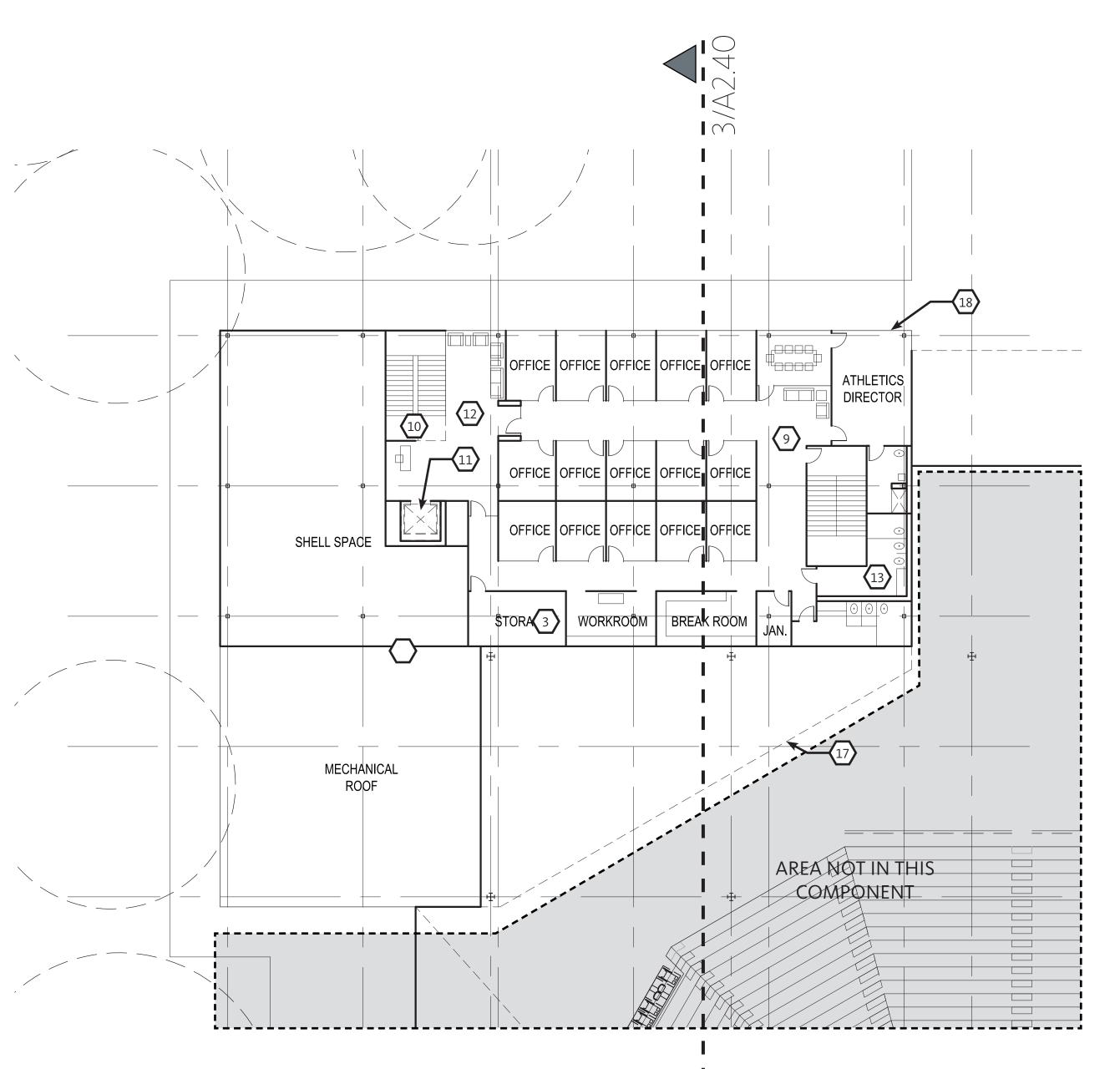
T.O. DECK
327-0"
BREAK ROOM CORR OFFICE OFFICE CORR. OFFICE 15

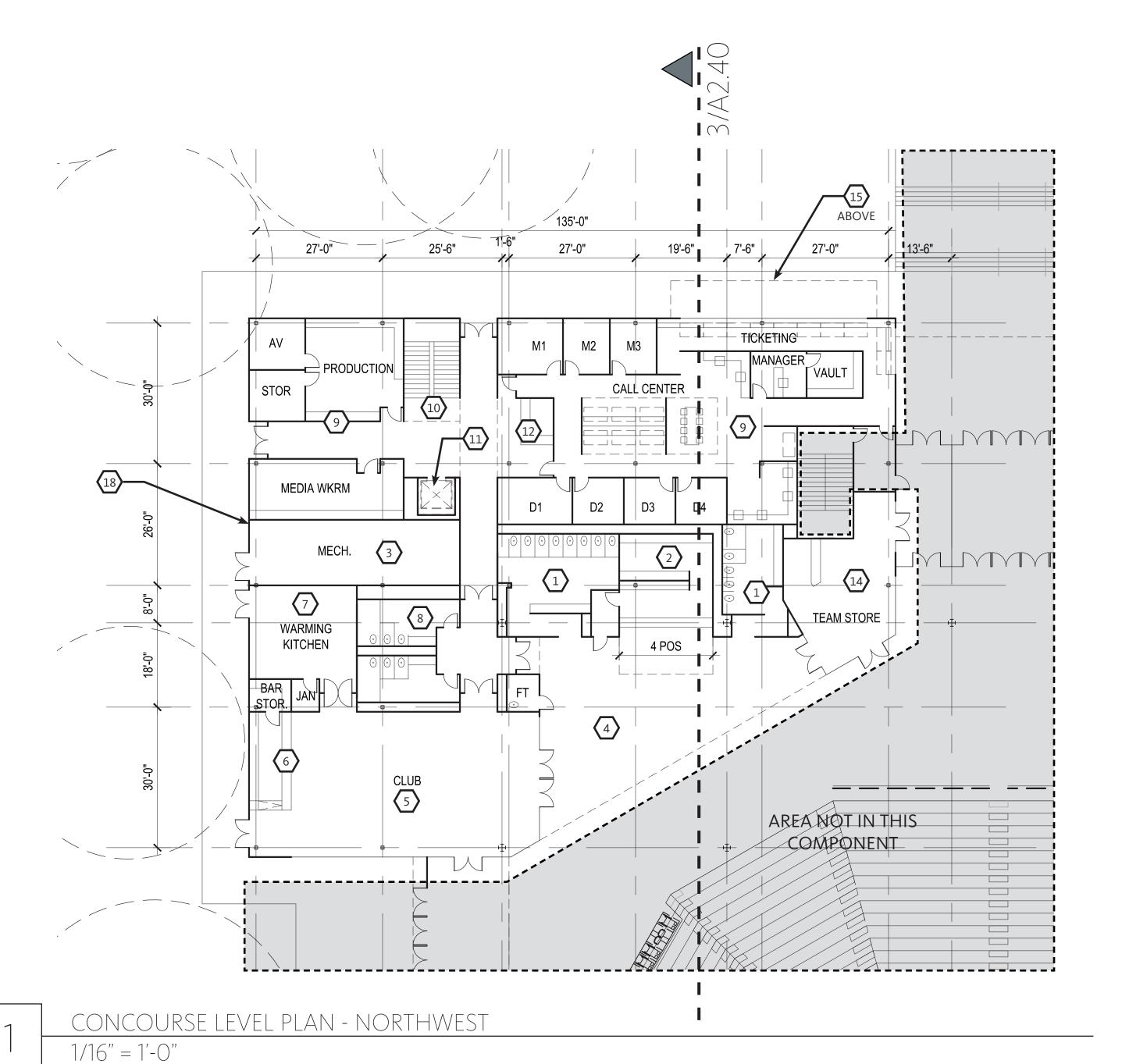
T.O. SLAB
313-8"
CONCOURSE
CONCOURSE
GRADE @ STREET
299-0"

BUILDING SECTION

1/16" = 1'-0"

4 | FLOOD PLANE DIAGRAM | 1/16" = 1'-0"





**GENERAL NOTES** 

1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY
A2.20 CONCOURSE LEVEL SOUTH RENOVATION
A2.30 BASE CASE EAST/WEST ADDITIONS

A2.40 NORTHWEST SUPPORT ADDITION
A2.50 EVENT LEVEL SOUTH RENOVATION
A2.60 WEST CLUB ADDITION
A2.70 BUNKER CLUB ADDITION
A2.80 BOWL REMEDIATION

2. OVERALL REFERENCE PLANS:

A3.01 EVENT LEVEL
A3.02 CONCOURSE LEVEL
A3.03 OFFICE LEVEL

## SHEET NOTES

TYPICAL CONCOURSE RESTROOM:
SEALED CONCRETE FLOOR, PTD CMU,
LAY-IN CEILING, WALL MOUNTED
FIXTURES W/ FLOOR MOUNTED HDPE
TOILET PARTITIONS

TYPICAL CONCESSION: SEALED CONCRETE FLOOR, PTD CMU,

CLEANABLE/WASHABLE LAY-IN CEILING, STAINLESS POS AND WORK COUNTERS, OVERHEAD COILING DOORS @

OPENINGS

SUPPORT AREAS UNO: SEALED CONCRETE FLOORS, PTD CMU WALLS, OPEN TO STRUCTURE

EXPANDED CONCOURSE SEALED TO MATCH EXISTING

PREMIUM CLUB: CARPET W/ WOOD
ACCENTS, PTD GYP WALL W/ WOOD
BASE, INT STOREFRONT @ CONCOURSE,
CLOUD CEILINGS W/ GYP AND PREMIUM
LAY-IN, PREMIUM LIGHTING

6 CLUB BAR

CLUB WARMING KITCHEN: CERAMIC
TILE FLOOR, FRP WALLS, CLEANABLE/
WASHABLE LAY-IN, STAINLESS FOOD
PREP AREA TABLES, WARMING
EQUIPMENT

CLUB RESTROOMS: PORCELAIN TILE
FLOOR AND WET WALL, WALL COVERING
AT NON-WET WALLS, PTD GYP CEILING,
SOLID SURFACE COUNTER TOPS W/
UNDERMOUNT LAVS, WALL MOUNTED
FIXTURES, CEILING HUNG STAINLESS
TOILET PARTITIONS

OFFICE SUITE UNO: CARPET TILE FLOOR
W/ RUBBER BASE, PTD GYP WALLS, LAY-IN
CEILING, BRANDING THROUGHOUT

(10) OPEN STAIR

211 PASSENGER ELEVATOR

RECEPTION: CARPET TILE W/ RUBBER
BASE, PTD GYP, PREMIUM LAY-IN,
BRANDING

OFFICE RESTROOMS: CERAMIC TILE
FLOOR AND WET WALL, WALL COVERING
AT NON-WET WALLS, PTD GYP CEILING,
SOLID SURFACE COUNTER TOPS W/
UNDERMOUNT LAVS, WALL MOUNTED
FIXTURES, CEILING HUNG STAINLESS
TOILET PARTITIONS

TEAM STORE: SHELL SPACE TO BE FIT
OUT BY MERCHANDISE PARTNER, INT
STOREFRONT @ CONCOURSE

POWDER COATED SHADE LOUVER

APPROX. EXTENT OF 100 YEAR
FLOODPLAIN. REVIEW EXISTING
GRADING INFORMATION TO ESTIMATE
REQ'D QUANTITY OF SELECT FILL TO
ACHIEVE EL: 300' -4" AMSL

SUSPENDED CLOUD CEILING ABOVE NEW CONCOURSE AREA

FACADE AREAS TO BE 50% BRICK, 30% METAL PANEL, 20% GLAZING

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NORTHWEST SUPPORT ADDITION

1/16" = 1'-0"

A2.40

TRUE NORTH

PLAN NORTH

OFFICE LEVEL PLAN - NORTHWEST

 $\overline{\phantom{a}}$ 

1/16" = 1'-0"

# MEP SHAFT AUX 1 AUX

EVENT LEVEL PLAN - SOUTH

1/16" = 1'-0"

## **GENERAL NOTES**

1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY
A2.20 CONCOURSE LEVEL SOUTH RENOVATION
A2.30 BASE CASE EAST/WEST ADDITIONS
A2.40 NORTHWEST SUPPORT ADDITION
A2.50 EVENT LEVEL SOUTH RENOVATION
A2.60 WEST CLUB ADDITION
A2.70 BUNKER CLUB ADDITION
A2.80 BOWL REMEDIATION

2. OVERALL REFERENCE PLANS:

A3.01 EVENT LEVEL
A3.02 CONCOURSE LEVEL
A3.03 OFFICE LEVEL

## SHEET NOTES

TYPICAL AUX. LOCKER: SEALED
CONCRETE FLOOR, PTD CMU WALLS
W/ RUBBER BASE, LAY-IN, FULL HEIGHT
POWDER COATED

POWDER COATED
WET AREAS: SLIP-RESISTANT CERAMIC
TILE FLOORS, EPOXY PTD CMU WALLS
W/ TILE BASE, EPOXY PTD GYP CEILINGS,
WALL MOUNTED FIXTURES W/ FLOOR
MOUNTED HDPE PARTITIONS

TRAINING ROOM: SEALED CONCRETE
FLOOR, PTD CMU WALLS, LAY-IN CEILING,
10 LINEAR FT. PLAM COUNTER TOP W/
BASE CABINETS

OFFICIALS LOCKERS FINISHES TO MATCH AUX. LOCKERS

NEW, SEALED CONCRETE ADA
COMPLIANT FLOOR ACCESS RAMP

NEW TWO STOP SERVICE ELEVATOR

ALL SUPPORT AND CIRCULATION AREAS
TO BE SEALED CONCRETE FLOOR, PTD
CMU WALLS, OPEN TO STRUCTURE

7 EXISTING STAIR TO REMAIN

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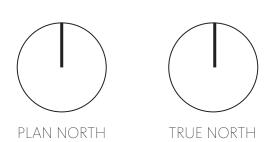
PRICING PACKAGE

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event level - south renovation

1/16" = 1'-0"

A2.50



## CLUB F&B 3 POS CONCOURSE CLUB LOUNGE 4 POS F----CONCESSION AREA NOT IN THIS COMPONENT

CONCOURSE LEVEL PLAN - WEST

1/16" = 1'-0"

<del>▗▗▗</del>▗▗▗▗▗▗▗▗▗▗▗▗▗▗▗▗▗▗▗▗▗

OFFICE

GENERAL NOTES

COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY
A2.20 CONCOURSE LEVEL SOUTH RENOVATION
A2.30 BASE CASE EAST/WEST ADDITIONS
A2.40 NORTHWEST SUPPORT ADDITION

A2.40 NORTHWEST SUPPORT ADDITION
A2.50 EVENT LEVEL SOUTH RENOVATION
A2.60 WEST CLUB ADDITION
A2.70 BUNKER CLUB ADDITION
A2.80 BOWL REMEDIATION

2. OVERALL REFERENCE PLANS:

A3.01 EVENT LEVEL
A3.02 CONCOURSE LEVEL
A3.03 OFFICE LEVEL

## SHEET NOTES

TYPICAL CONCOURSE RESTROOM:
SEALED CONCRETE FLOOR, PTD CMU,
LAY-IN CEILING, WALL MOUNTED
FIXTURES W/ FLOOR MOUNTED HDPE
TOILET PARTITIONS

TYPICAL CONCESSION: SEALED CONCRETE FLOOR, PTD CMU,
CLEANABLE/WASHABLE LAY-IN CEILING, STAINLESS POS AND WORK COUNTERS, OVERHEAD COILING DOORS @
OPENINGS

SUPPORT AREAS UNO: SEALED
CONCRETE FLOORS, PTD CMU WALLS,
OPEN TO STRUCTURE

EXPANDED CONCOURSE SEALED CONCRETE TO MATCH EXISTING

5 NEW PTD MTL EGRESS DOORS

6 EDGE OF EXISTING CONCOURSE

PREMIUM CLUB: CARPET W/ WOOD

ACCENTS, PTD GYP WALL W/ WOOD

BASE, INT STOREFRONT @ CONCOURSE,

CLOUD CEILINGS W/ GYP AND PREMIUM
LAY-IN, PREMIUM LIGHTING

8 CLUB BAR

CLUB FOOD HOLDING AREA: CERAMIC TILE FLOOR, FRP WALLS, CLEANABLE/ WASHABLE LAY-IN, STAINLESS FOOD PREP AREA TABLES, WARMING EQUIPMENT

CLUB RESTROOMS: PORCELAIN TILE
FLOOR AND WET WALL, WALL COVERING
AT NON-WET WALLS, PTD GYP CEILING,
SOLID SURFACE COUNTER TOPS W/
UNDERMOUNT LAVS, WALL MOUNTED
FIXTURES, CEILING HUNG STAINLESS

CURTAINWALL GLAZING SYSTEM

TOILET PARTITIONS

NON- GLAZED FACADE AREA TO BE 70%
BRICK VENEER, 30% METAL PANEL B.O.D.
CENTRIA FORMAWALL

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WEST CONCOURSE CLUB ADDITION

1/16" = 1'-0"



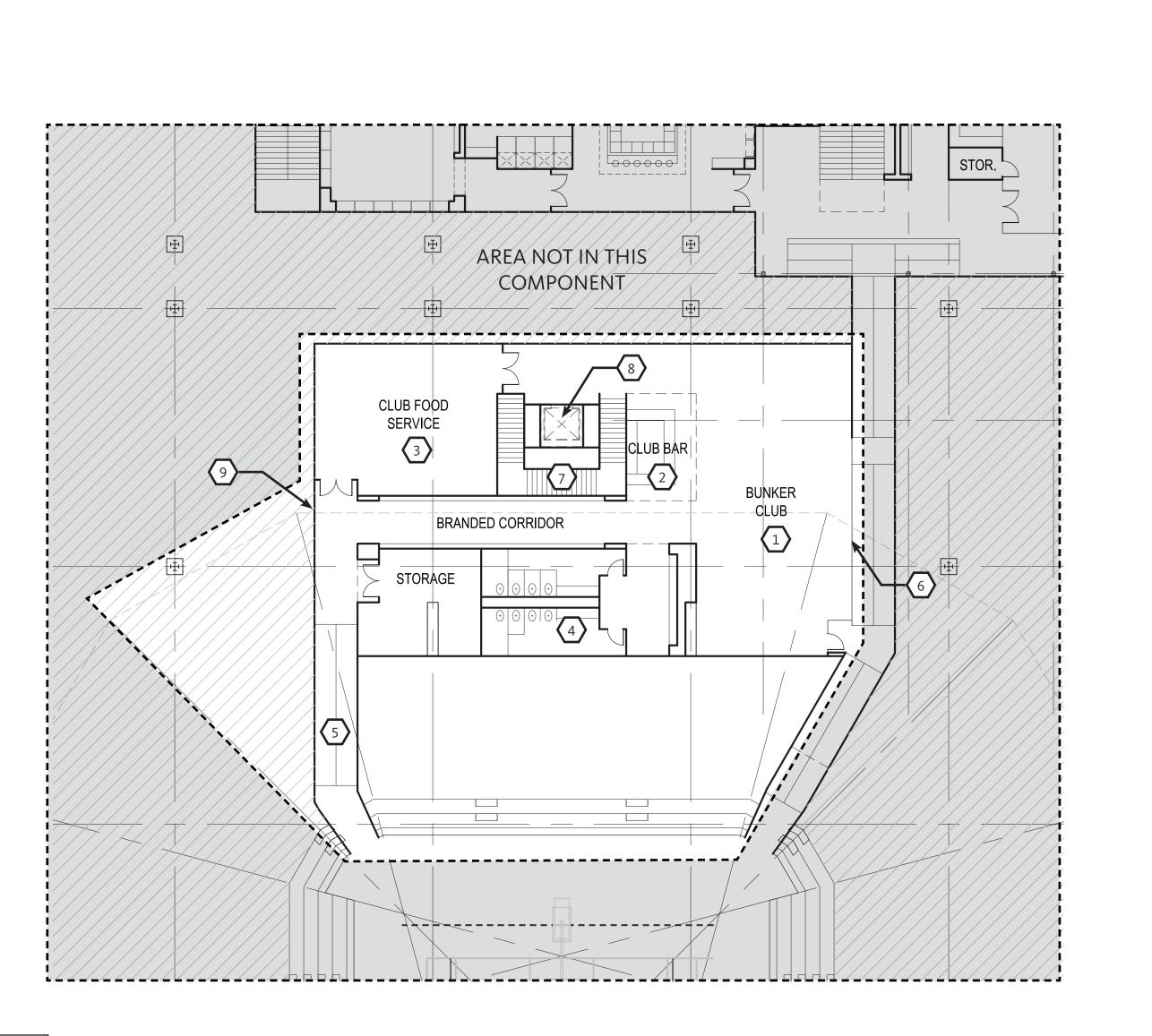


AREA NOT IN THIS
COMPONENT





# DS D4 11 11 11 O2 COPY TEAM STORE TEAM S



1 EVENT LEVEL PLAN - NORTH 1/16" = 1'-0"

## **GENERAL NOTES**

1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY
A2.20 CONCOURSE LEVEL SOUTH RENOVATION
A2.30 BASE CASE EAST/WEST ADDITIONS
A2.40 NORTHWEST SUPPORT ADDITION
A2.50 EVENT LEVEL SOUTH RENOVATION
A2.60 WEST CLUB ADDITION

A2.70 BUNKER CLUB ADDITION A2.80 BOWL REMEDIATION

2. OVERALL REFERENCE PLANS:

A3.01 EVENT LEVEL
A3.02 CONCOURSE LEVEL
A3.03 OFFICE LEVEL

## SHEET NOTES

PREMIUM CLUB: CARPET W/ WOOD
ACCENTS, PTD GYP WALL W/ WOOD
BASE, INT STOREFRONT @ CONCOURSE,
CLOUD CEILINGS W/ GYP AND PREMIUM
LAY-IN, PREMIUM LIGHTING
SLAB EL: 278' AMSL

2 CLUB BAR

CLUB KITCHEN: CERAMIC TILE FLOOR,
FRP WALLS, CLEANABLE/WASHABLE LAYIN, STAINLESS FOOD PREP AREA TABLES,
WARMING EQUIPMENT

CLUB RESTROOMS: PORCELAIN TILE
FLOOR AND WET WALL, WALL COVERING
AT NON-WET WALLS, PTD GYP CEILING,
SOLID SURFACE COUNTER TOPS W/
UNDERMOUNT LAVS, WALL MOUNTED
FIXTURES, CEILING HUNG STAINLESS
TOILET PARTITIONS

5 FLOOR ACCESS TUNNEL FOR CLUB PATRONS

6 INT. STOREFRONT BETWEEN CLUB AND PLAYER ACCESS TUNNEL

7 MONUMENTAL STAIR

PASSENGER ELEVATOR W/ PREMIUM FINISHES

SELECTIVE DEMOLITION AND
RETENTION AS REQ'D. SEATING BOWL
TO BE RECONSTRUCTED W/ PRECAST
CONCRETE PLANK SYSTEM: DANT
CLAYTON OR SIMILAR

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BUNKER CLUB ADDITION





PLAN NORTH

CONCOURSE LEVEL PLAN - NORTH

## ,------AREA NOT IN THIS COMPONENT \_\_\_\_\_\_ 56 SEATS `~-----AREA NOT IN THIS OFFICE SUITE

SEATING BOWL PLAN

1/16" = 1'-0"

## **GENERAL NOTES**

1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY A2.20 CONCOURSE LEVEL SOUTH RENOVATION A2.30 BASE CASE EAST/WEST ADDITIONS

A2.40 NORTHWEST SUPPORT ADDITION A2.50 EVENT LEVEL SOUTH RENOVATION A2.60 WEST CLUB ADDITION A2.70 BUNKER CLUB ADDITION

2. OVERALL REFERENCE PLANS:

A2.80 BOWL REMEDIATION

A3.01 EVENT LEVEL A3.02 CONCOURSE LEVEL A3.03 OFFICE LEVEL

## SHEET NOTES

NEW C.I.P. CONCRETE ADA PLATFORM ON VOIDFORMS W/ 6" CURB AND 30" AFF BAR STOCK GUARDRAIL.

NEW C.I.P. CONCRETE CAMERA PLATFORM ON VOIDFORMS W/ 6" CURB AND 30" AFF BAR STOCK GUARDRAIL.

NEW SELF RISING BLOW MOLDED
PLASTIC ARENA SEATS FLOOR MOUNTED
ON CONCOURSE: (243) TOTAL SEATS



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PRICING PACKAGE

27.7450.000

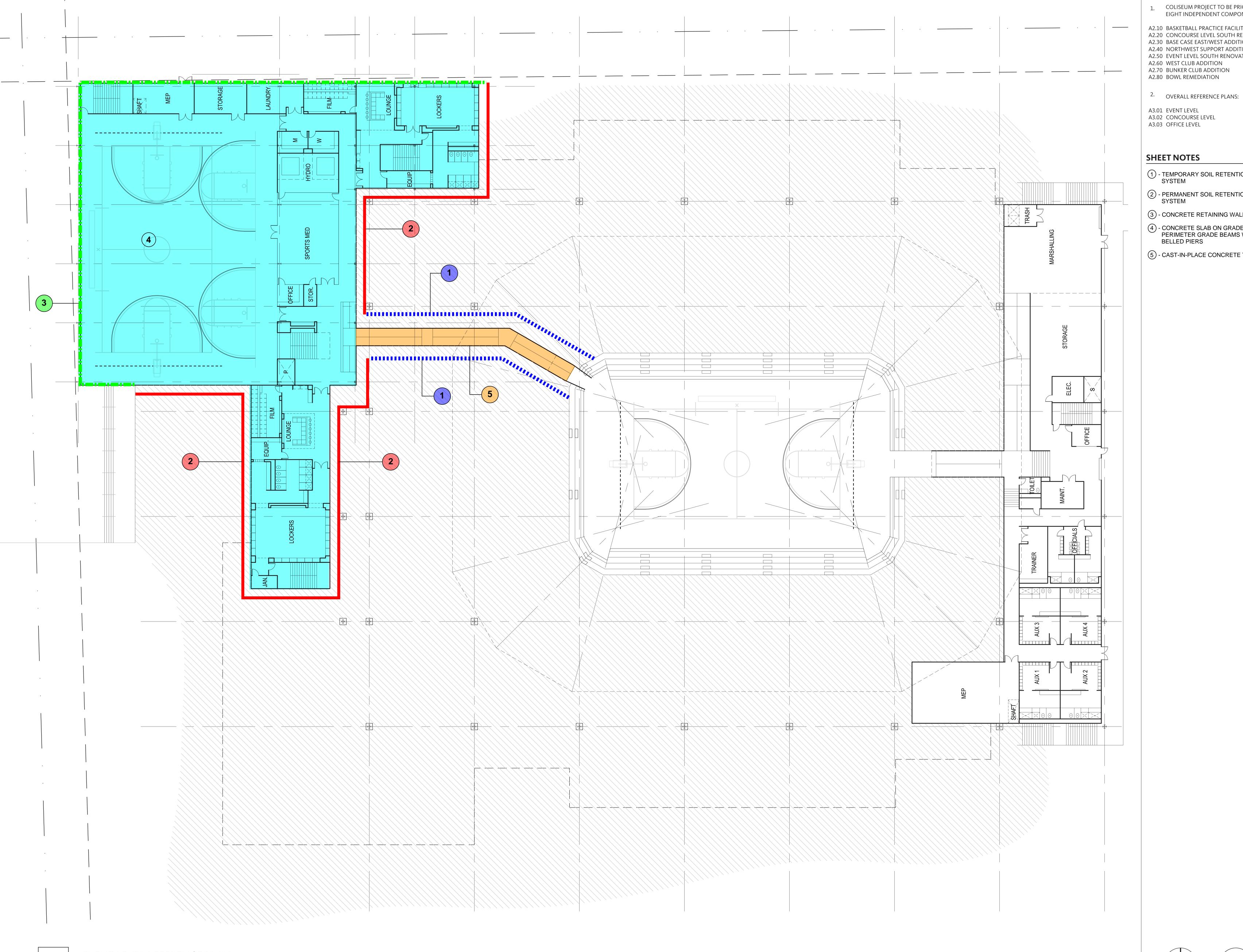
CONCOURSE LEVEL - SOUTH RENOVATION

1/16" = 1'-0"









- 1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY A2.20 CONCOURSE LEVEL SOUTH RENOVATION A2.30 BASE CASE EAST/WEST ADDITIONS A2.40 NORTHWEST SUPPORT ADDITION A2.50 EVENT LEVEL SOUTH RENOVATION A2.60 WEST CLUB ADDITION
- A2.80 BOWL REMEDIATION
- A3.01 EVENT LEVEL A3.02 CONCOURSE LEVEL A3.03 OFFICE LEVEL

## SHEET NOTES

- 1 TEMPORARY SOIL RETENTION SYSTEM
- 2 PERMANENT SOIL RETENTION SYSTEM
- 3 CONCRETE RETAINING WALL
- 4 CONCRETE SLAB ON GRADE WITH PERIMETER GRADE BEAMS WITH **BELLED PIERS**
- (5) CAST-IN-PLACE CONCRETE TUNNEL



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08/18/2018 PRICING PACKAGE (2) - COLISEUM

NOT FOR CONSTRUCTION

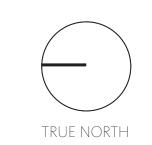
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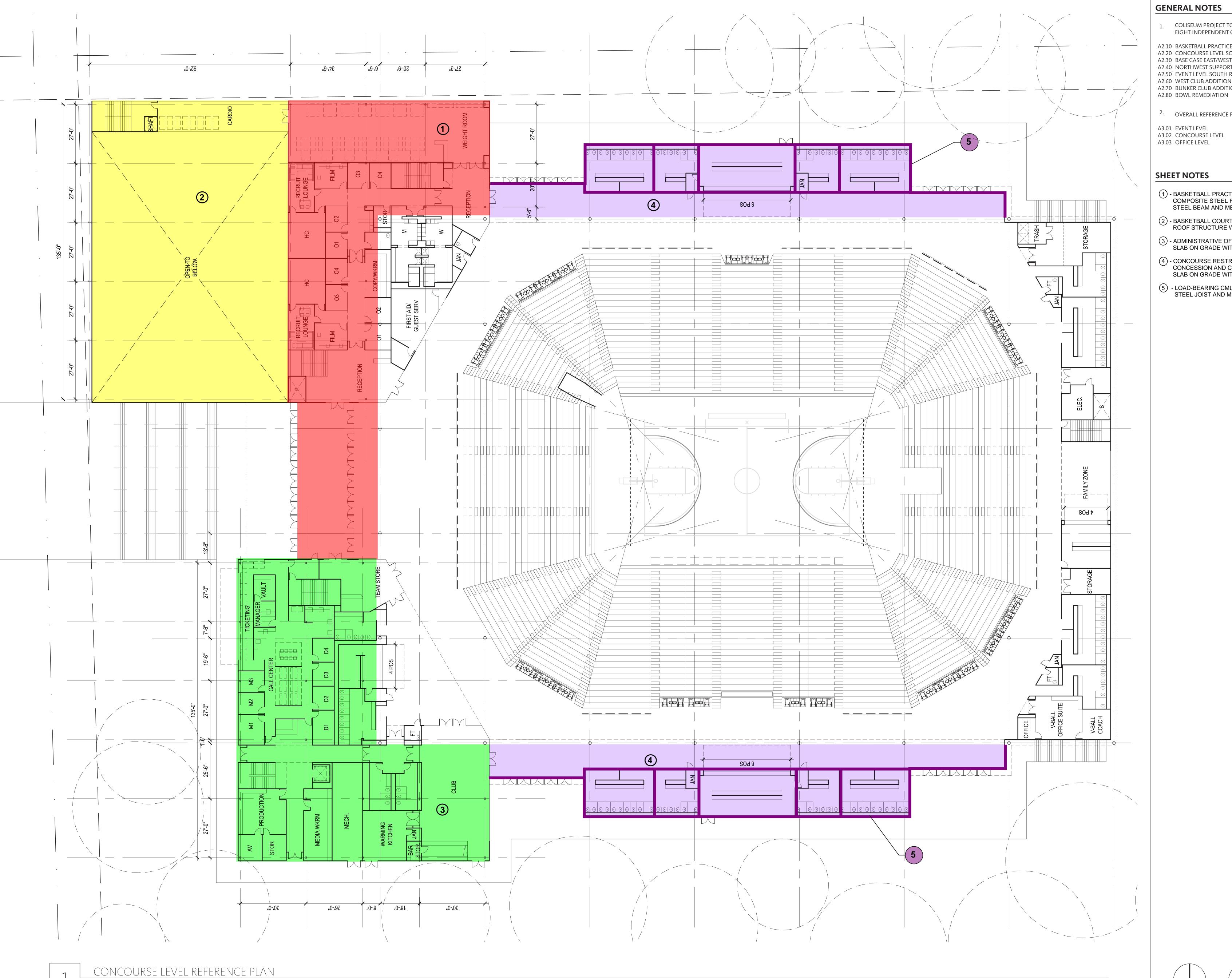
REFERENCE PLAN

1/16" = 1'-0"

A3.01



PLAN NORTH



- COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY A2.20 CONCOURSE LEVEL SOUTH RENOVATION A2.30 BASE CASE EAST/WEST ADDITIONS
- A2.40 NORTHWEST SUPPORT ADDITION A2.50 EVENT LEVEL SOUTH RENOVATION A2.60 WEST CLUB ADDITION A2.70 BUNKER CLUB ADDITION
- 2. OVERALL REFERENCE PLANS:
- A3.01 EVENT LEVEL A3.02 CONCOURSE LEVEL A3.03 OFFICE LEVEL

## SHEET NOTES

- BASKETBALL PRACTICE FACILITY COMPOSITE STEEL FRAMING WITH
  STEEL BEAM AND METAL DECK ROOF
- 2 BASKETBALL COURT AREA GLULAM ROOF STRUCTURE WITH METAL DECK
- (3) ADMINISTRATIVE OFFICES ADDITION -SLAB ON GRADE WITH BELLED PIERS
- 4 CONCOURSE RESTROOMS, CONCESSION AND CLUB ADDITIONS -SLAB ON GRADE WITH BELLED PIERS
- 5 LOAD-BEARING CMU WALLS WITH STEEL JOIST AND METAL DECK ROOF

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08/18/2018 PRICING PACKAGE (2) - COLISEUM

NOT FOR CONSTRUCTION

PRICING PACKAGE

27.7450.000

REFERENCE PLAN

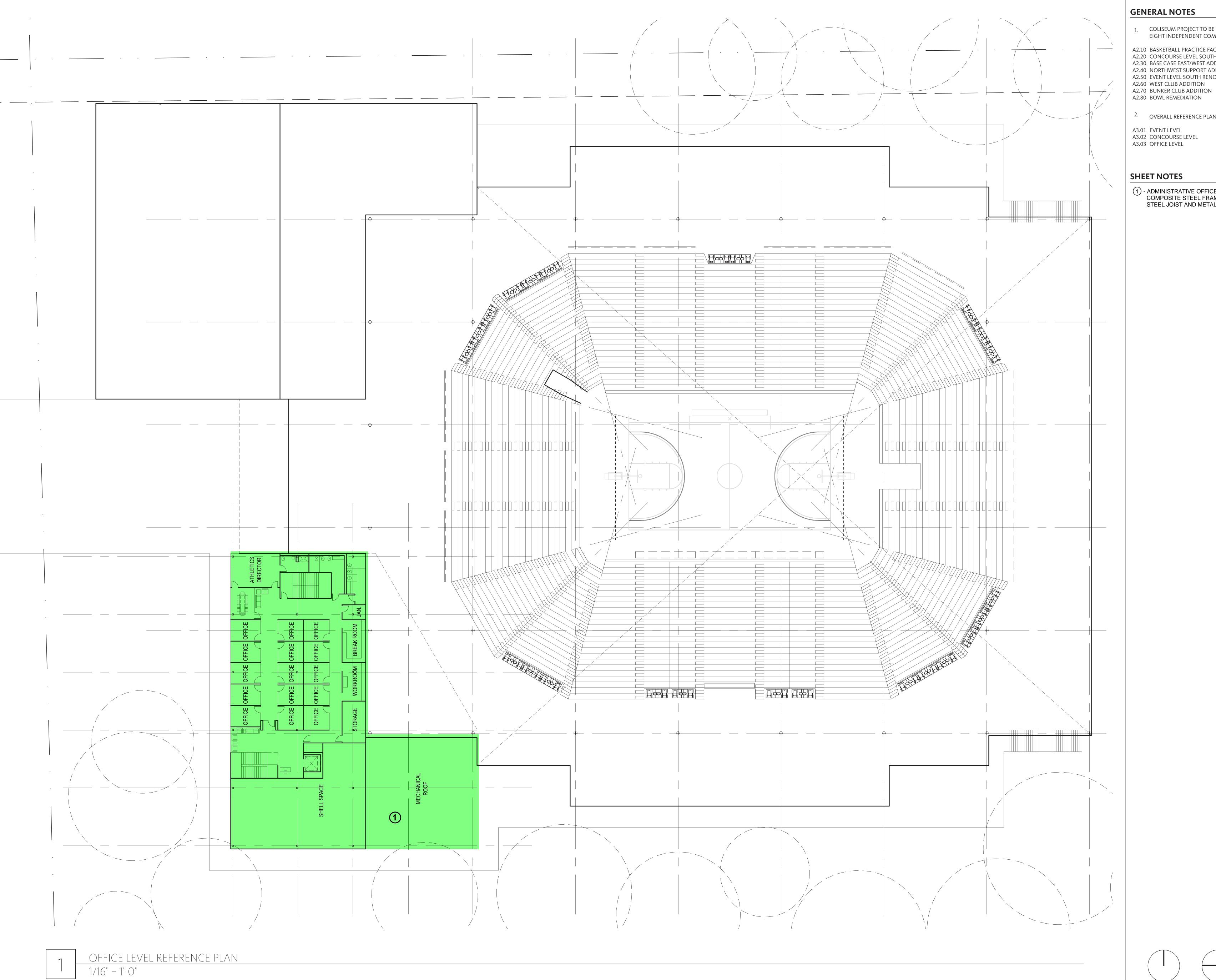
1/16" = 1'-0"

A3.02

TRUE NORTH

PLAN NORTH

1/16" = 1'-0"



COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:

A2.10 BASKETBALL PRACTICE FACILITY A2.20 CONCOURSE LEVEL SOUTH RENOVATION A2.30 BASE CASE EAST/WEST ADDITIONS A2.40 NORTHWEST SUPPORT ADDITION A2.50 EVENT LEVEL SOUTH RENOVATION A2.60 WEST CLUB ADDITION

2. OVERALL REFERENCE PLANS:

A3.01 EVENT LEVEL A3.02 CONCOURSE LEVEL

## SHEET NOTES

- ADMINISTRATIVE OFFICES ADDITION COMPOSITE STEEL FRAMING WITH
 STEEL JOIST AND METAL DECK ROOF



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08/18/2018 PRICING PACKAGE (2) - COLISEUM

NOT FOR CONSTRUCTION

PRICING PACKAGE

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REFERENCE PLAN

1/16" = 1'-0"

A3.03

TRUE NORTH

PLAN NORTH

- 1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY
  A2.20 CONCOURSE LEVEL SOUTH RENOVATION
  A2.30 BASE CASE EAST/WEST ADDITIONS
  A2.40 NORTHWEST SUPPORT ADDITION
  A2.50 EVENT LEVEL SOUTH RENOVATION
  A2.60 WEST CLUB ADDITION
  A2.70 BUNKER CLUB ADDITION
- 2. OVERALL REFERENCE PLANS:
- A3.01 EVENT LEVEL
  A3.02 CONCOURSE LEVEL
  A3.03 OFFICE LEVEL

A2.80 BOWL REMEDIATION

## SHEET NOTES

1)- SLAB ON GRADE WITH GRADE BEAMS AND BELLED PIERS

2 - PERMANENT SOIL RETENTION SYSTEM

3 - CONCRETE RETAINING WALL ON FOOTING



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PRICING PACKAGE

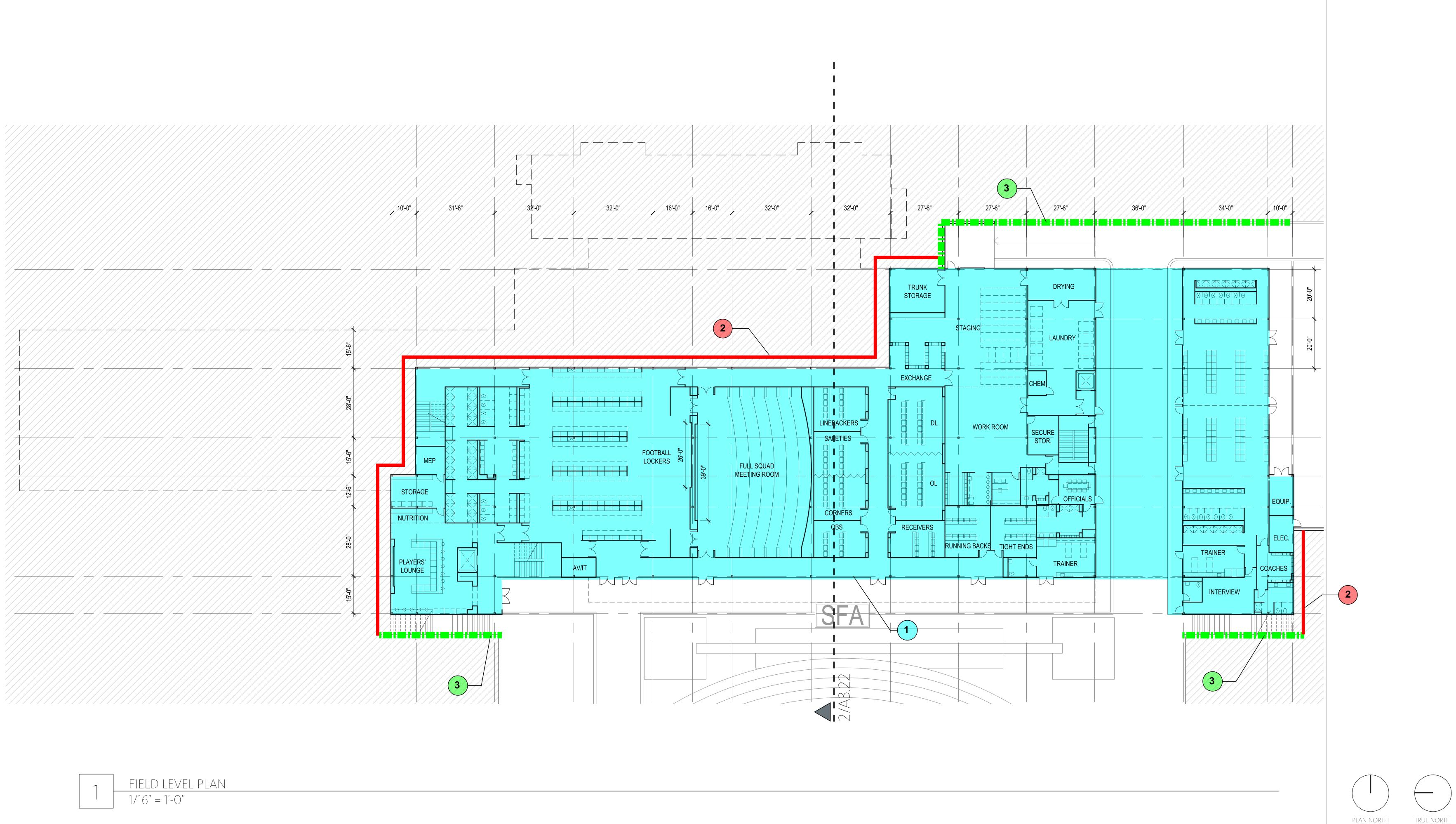
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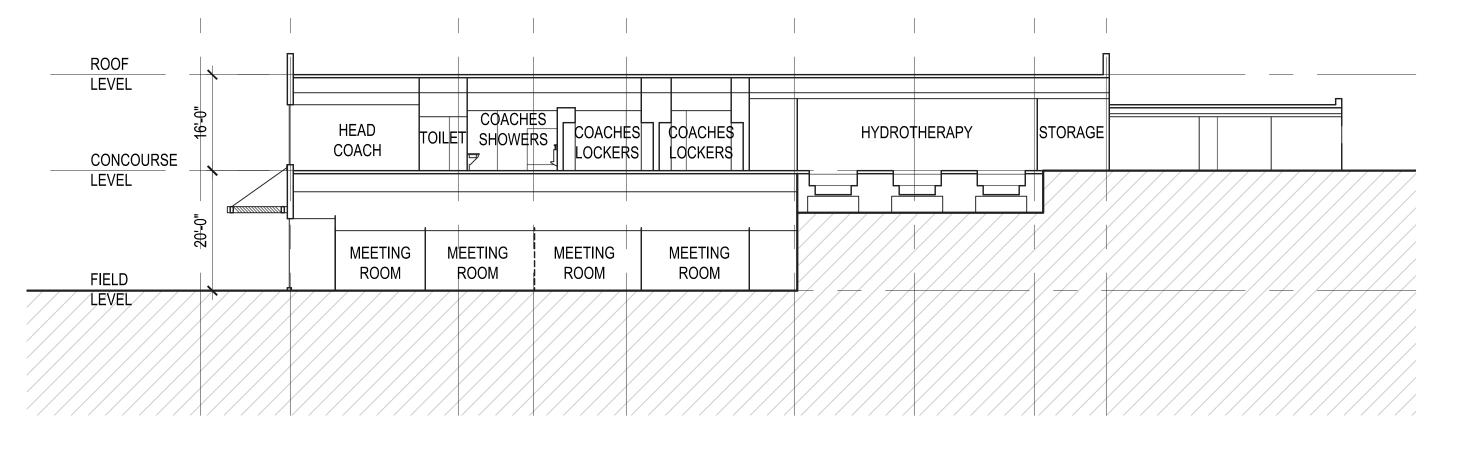
reference plan

1/16" = 1'-0"

1/10 - 1-0

A3.21





2 CONCOURSE LEVEL PLAN
1/16" = 1'-0"

# GENERAL NOTES

- 1. COLISEUM PROJECT TO BE PRICED AS EIGHT INDEPENDENT COMPONENTS:
- A2.10 BASKETBALL PRACTICE FACILITY
  A2.20 CONCOURSE LEVEL SOUTH RENOVATION
  A2.30 BASE CASE EAST/WEST ADDITIONS
  A2.40 NORTHWEST SUPPORT ADDITION
- A2.50 EVENT LEVEL SOUTH RENOVATION
  A2.60 WEST CLUB ADDITION
  A2.70 BUNKER CLUB ADDITION
  A2.80 BOWL REMEDIATION
- 2. OVERALL REFERENCE PLANS:
- A3.01 EVENT LEVEL
  A3.02 CONCOURSE LEVEL
  A3.03 OFFICE LEVEL

# SHEET NOTES

- 1 FIELD HOUSE COMPOSITE STEEL FRAMING
- 2 FIELD HOUSE SLAB ON GRADE WITH BELLED PIERS
- 3 EXISTING CONSTRUCTION TO REMAIN
- 4 FOOTBALL WEIGHT ROOM SLAB ON GRADE WITH FOOTINGS
- (5) CONCRETE WALLS AT HYDROTHERAPY PIT

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08/18/2018 PRICING PACKAGE (2) - COLISEUM

# NOT FOR CONSTRUCTION

PRICING PACKAGE

27.7450.000

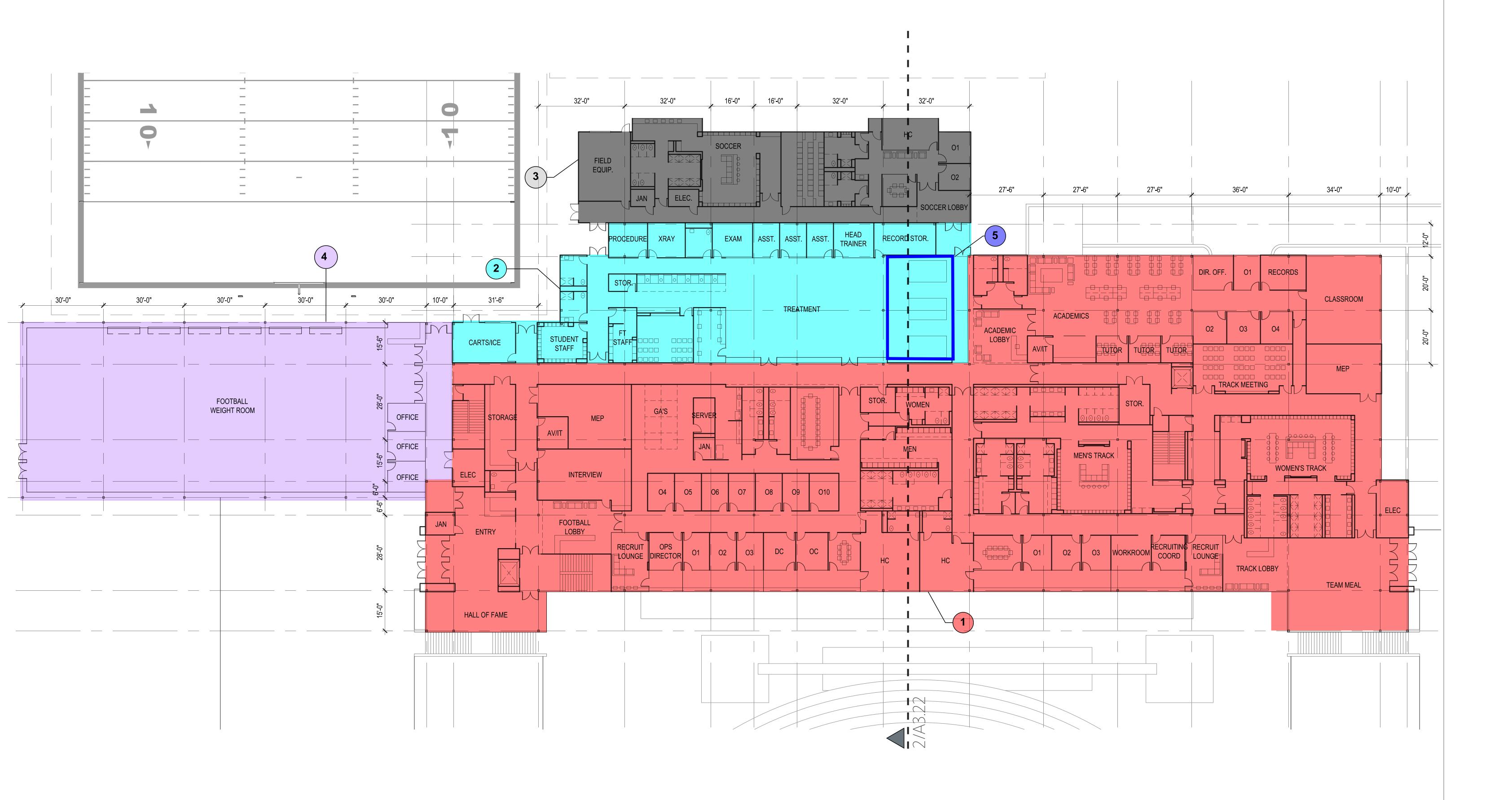
reference plan

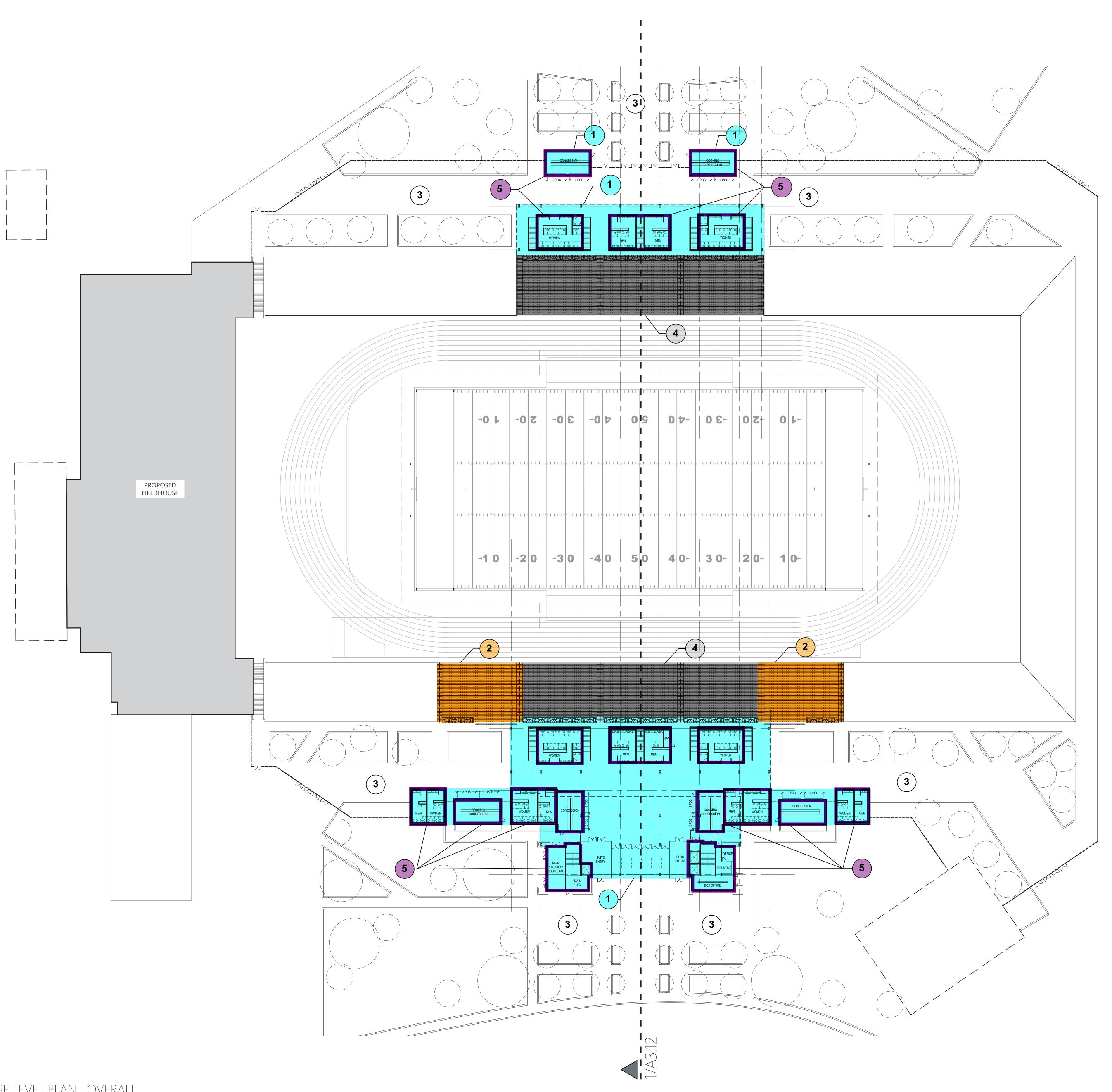
1/16" = 1'-0"

A3.22

TRUE NORTH

PLAN NORTH





# **GENERAL NOTES**

SHEET NOTES

1. EAST AND WEST STADIUM PROJECTS TO BE PRICED AS INDEPENDENT PHASES:

PHASE 1 = WEST STADIUM

PHASE 2 = EAST STADIUM

1 - SLAB ON GRADE WITH GRADE BEAMS AND BELLED PIERS

(4) - EXISTING CONSTRUCTION TO REMAIN

(2) - ADDITIONAL SEATING ON GRADE

5 - LOAD-BEARING CMU WITH STEEL JOIST AND METAL DECK ROOF

(3) - CONCRETE PAVING BY CIVIL



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08/11/2018 PRICING PACKAGE (1) - STADIUM & FIELDHOUSE

# NOT FOR CONSTRUCTION

PRICING PACKAGE

27.7450.000

REFERENCE PLAN

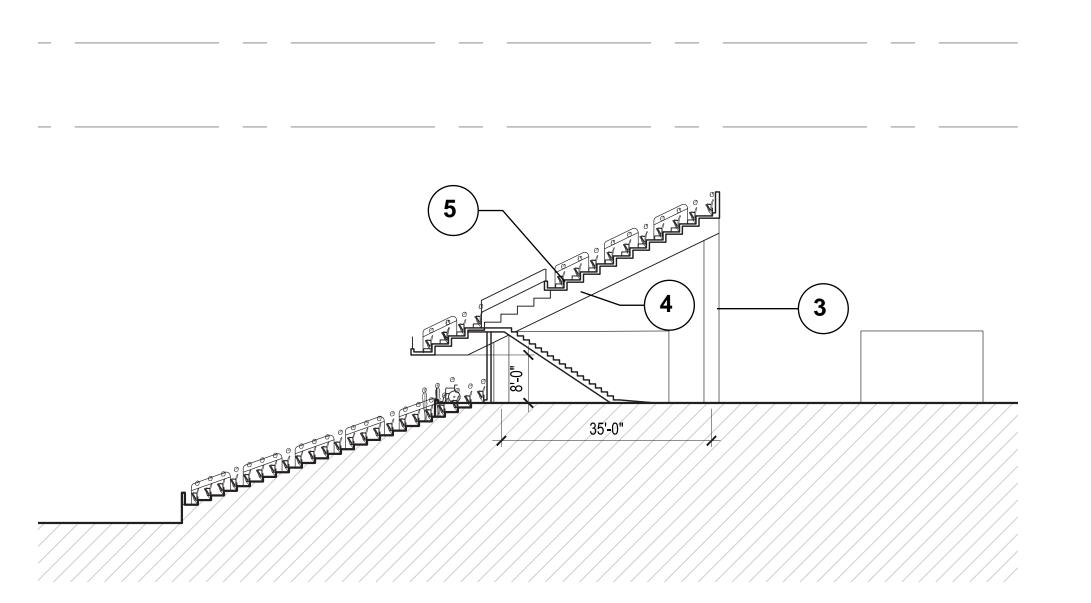
1/32" = 1'-0"

A3.11

TRUE NORTH

PLAN NORTH

# ROOF LEVEL LEVEL SUITE LEVEL CONCOURSE LEVEL 24-9' 35-



 $\begin{array}{c|c}
1 & MIDFIELD SECTION \\
\hline
1/16" = 1'-0"
\end{array}$ 

# **GENERAL NOTES**

1. EAST AND WEST STADIUM PROJECTS TO BE PRICED AS INDEPENDENT PHASES:

PHASE 1 = WEST STADIUM

PHASE 2 = EAST STADIUM



STEPHEN F. AUSTIN STATE UNIVERSITY

Gensler | Sports 5420 LBJ FWY DALLAS TX 75240

# SHEET NOTES

- 1 CAST-IN-PLACE PAN FORMED BEAM AND SLAB FLOOR
- 2 STEEL GIRDER AND JOIST ROOF WITH METAL DECK
- 3 CONCRETE COLUMNS (TYPICAL)
  4 CAST-IN-PLACE CONCRETE RAKER BEAMS
- (5) PRECAST CONCRETE SEATING UNITS

JQ ENGINEERING 100 GLASS STREET DALLAS TX 75207

PURDY-McGUIRE 17300 dallas parkway Suite 300 dallas TX 75248

08/11/2018 PRICING PACKAGE (1) - STADIUM & FIELDHOUSE

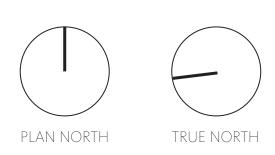
NOT FOR CONSTRUCTION

PRICING PACKAGE

27.7450.000

REFERENCE SECTION

1/16" = 1'-0"



100 GLASS STREET, SUITE 201, DALLAS, TEXAS 75207 972 392-7340 PHONE JOIENG.COM

# SFASU Athletics Conceptual Design STRUCTURAL CONCEPT PRICING NARRATIVE

# **Descriptive Specifications**

# Concrete

Normal weight<sup>1</sup> Portland cement concrete with 3" to 7" slump, depending on the application. Minimum 28-day compressive strength:

Drilled Piers	4,000 psi
Footings	3,000 psi
Grade Beams, Pilasters, and Pier Caps	4,500 psi
Walls	4,000 psi
Slab-on-Grade	4,000 psi
Elevated Composite Slabs <sup>1</sup>	4,000 psi
Cast-in-Place Elevated Concrete Beams and Slabs	5,000 psi
Concrete Columns	5,000 psi

# Reinforcing Steel

Deformed Bars (typical) ASTM A615, Grade 60

# Structural Steel

Wide-Flange Shapes
Steel Angles, Channels, Plates
ASTM A36
Steel Tubes (HSS)
ASTM A500, GR B (46 ksi)
Steel Pipe
ASTM A53, GR B or A500, GR B
Field Bolted Connections
ASTM A325 Bolts
Anchor Rods
ASTM F1554, GR 36
Welding
E70XX per AWS D1.1

# • Composite Steel Deck

3" deep, 20 GA, 12" rib pattern; ASTM A653, G60 Galv. Finish

<sup>&</sup>lt;sup>1</sup> Elevated Composite Slabs will be sand light-weight concrete to obtain 2-hr fire rating.

# • Steel Roof Deck

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Typical: 1 1/2", 20 GA, Type B (wide rib) roof deck; ASTM A653, G60 Galv. Finish. Where specified: 3", 18 GA, Type N roof deck; ASTM A653, G60 Galv. Finish.

# Structural Glue-Laminated Timber Framing

Species: Southern Yellow Pine (SYP)

Grades:

Spans greater than 60 feet: 26F-V5
Spans less than 60 feet: 24F-V5

All Glue-Laminated members shall have a balanced layup.

# Wood Connection Hardware

Floor and roof framing members (trusses, beams, etc.) are expected to be connected to supporting beams or girder trusses with custom-fabricated steel connections.

# • Concrete Masonry Units (CMU)

Masonry Wall Compressive Strength (f'm)

Mortar

ASTM C270, Type S

Masonry Unit

ASTM C90, 2000 psi net area compressive strength

Grout

ASTM C476, f'm 2000 psi min.

# **Design Analysis**

#### Codes and Standards

The following codes and standards will be used for the structural design of the project:

International Building Code (IBC), 2015 Edition.

American Society of Civil Engineers (ASCE) 7, Minimum Design Loads for Buildings and Other Structures.<sup>2</sup>

American Concrete Institute (ACI) 318, Building Code Requirements for Structural Concrete.<sup>1</sup>

American Institute of Steel Construction (AISC) Specification for Structural Steel Buildings, AISC 360.1

Concrete Masonry: Building Code Requirements for Concrete Masonry Structures, American Concrete Institute, (ACI) 530.<sup>1</sup>

American Forest & Paper Association, National Design Specification for Wood Construction (NDS) and Special Design Provisions for Wind and Seismic (SDPWS). <sup>1</sup>

<sup>&</sup>lt;sup>2</sup> The edition of the standard will be the edition referenced in the noted edition of the International Building Code.

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**Concept Pricing Narrative** 

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# **Design Loads**

# Dead Loads

Design dead loads for the structural frame will include self-weight of the structural elements and the following superimposed dead loads:

Ceiling and Mechanical at Roof	10 psf
Roofing and Rigid Insulation	15 psf
Ceiling and Mechanical at Floors	5 psf

# Live Loads

Based on the anticipated functions to be contained in the building, the following superimposed live loads will be utilized in the design of the structural frame:

Public areas, corridors, lobbies	100 psf
Offices	50 psf
Classrooms	50 psf
Partitions at areas with less than 80 psf live load	15 psf
Stairs	100 psf
Mechanical rooms	150 psf
Storage (minimum)	125 psf
Restrooms	60 psf
Locker Rooms	60 psf
Stadium seating - fixed seats	60 psf
Stadium seating – bleachers	100 psf
Gymnasium/Exercise Equipment	100 psf
Concessions	100 psf
Roof (unreducible)	20 psf

# Wind Loads

Wind Loads will be determined per ASCE 7 using the following anticipated parameters:

# **Typical Building**

Wind Speed (3-sec gust)	120 MPH
Exposure Category	"C"

Enclosed Structure – Basketball Facility and Field House

Partially Enclosed Structure - Stadium

# Seismic Loads

Seismic loads will be determined per ASCE 7-10 using the following anticipated parameters:

Site Class	D
Seismic Design Category	В
Seismic Importance Factor	1.25
Response Modification Factor	3

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Concept Pricing Narrative Page 4

# **Football Stadium**

The structure of the building must be adequate to resist the applied design loading, satisfy the performance criteria for such items as deflection and vibration control, and accommodate the architectural design. For this building the following structural systems are anticipated:

# Foundation

Currently the seating for the football stadium is built into a man-made soil berm. The existing bermed seating bowl is expected to be leveled to the concourse elevation, which is approximately at natural grade. The recommendations made herein are under the assumption that the soil profile below the concourse level approximately matches similar sites nearby. Site-specific geotechnical information is required to confirm this.

# Elevated Seating and Press Box Structure

The foundation for the building will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based upon comparable geotechnical information from the area, it is anticipated that the foundation system will consist of drilled underreamed piers at each column, bearing at a depth of approximately 20 feet below the concourse level in glauconite. Typical piers are expected to be approximately 48 inches in diameter with 108-inch diameter bells. Temporary steel casing for pier installation is anticipated.

Alternate foundation systems, such as drilled, straight-shaft piers and augercast-in-place piles may be considered for the elevated structure, pending site-specific geotechnical information. The required penetration for these types of foundation systems will likely be greater than 35 feet.

# Concourse Concession and Restroom Buildings

The foundation for the concourse buildings will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based upon comparable geotechnical information from the area, it is anticipated that the foundation system will consist of drilled underreamed piers at each column, bearing at a depth of approximately 20 feet below the concourse level in glauconite. Typical piers are expected to be approximately 24 inches in diameter with 48-inch diameter bells, and are expected to be spaced at 25 feet on center maximum. Temporary steel casing for pier installation is anticipated.

# • Ground Level Structure

It is anticipated that the ground floor/concourse level will consist of a 5" slab-on-grade reinforced with #3 bars at 16" on-center each way, over prepared subgrade. Subgrade preparation is anticipated to consist of removal of a minimum of 2 feet of on-site expansive soils and replacement with select fill. The slab-on-grade will be placed over a 15 mil, Class A vapor retarder. Perimeter grade beams are anticipated to be 18" wide x 30" deep with 25 plf of reinforcing. Grade beams are expected to be isolated from the subgrade with 8" to 12" deep carton void forms, and soil retainers each side to prevent soil from entering the void space. Grade beams will also be required to span between piers and under all load-bearing CMU walls at the restroom and concession buildings. Maximum pier spacing is expected to be limited to 20 feet.

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**Concept Pricing Narrative** 

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Additional seating is expected to be added below the main concourse level at each end of the existing seating. This seating is expected to be built into the existing berm as a stepped slab-ongrade. Slab thickness is anticipated to be 6" with #4 bars at 12" on-center each way. Subgrade preparation will be as described above. Perimeter grade beams are expected. Some 8" thick concrete walls may also be required at the perimeter.

# • Typical Upper Level Structure

# • Elevated Seating and Press Box Structure

The structural slab is expected to consist of a wide-module pan joist ("skip" joist) system supported by cast-in-place concrete columns. The pan joist system is expected to generally consist of a 5" slab with 8" wide x 25" deep joists at 6'-2" on-center, supported by 36" wide girders with depth typically matching the joists. Slab reinforcing is expected to consist of #3 bars at 12" on-center each way. The joists and girders are anticipated to contain 30 plf and 60 plf of reinforcing, respectively. The columns are anticipated to contain 35 plf of reinforcing.

The elevated seating is expected to be supported on performance-specified precast concrete seating units spanning between sloped, cast-in-place concrete raker beams at each columns line. These raker beams is expected to be approximately 60" deep and 48" wide with 85 plf of reinforcing to mitigate vibration concerns.

# Typical Roof Structure

# • <u>Elevated Seating and Press Box Structure</u>

It is anticipated that the roof framing will consist of 1.5" deep x 20 gage steel roof deck, openweb steel bar joists, and steel girders. The concrete columns from below are expected to continue to the press box roof to support the superstructure.

# Concourse Concession and Restroom Buildings

It is anticipated that the roof framing will consist of 1.5" deep x 20 gage steel roof deck, openweb steel bar joists, and steel girders. Load-bearing 8-inch CMU walls are expected be used to support the superstructure. Steel lintels are expected at large openings in the CMU.

# Lateral Stability

# <u>Elevated Seating and Press Box Structure</u>

The lateral stability of the building is expected to be be provided by rigid concrete frames.

# • Concourse Concession and Restroom Buildings

The lateral stability of the concession and restroom buildings is expected to be provided by load-bearing CMU shear walls.

# Vertical Circulation

The elevator shaft and stair enclosures may consist of partially grouted 8" reinforced concrete masonry walls to achieve the necessary fire rating. Stairs are anticipated to be performance-specified steel framed construction with concrete filled metal pans.

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Concept Pricing Narrative Page 6

The Practice Facility addition will be separated from the existing coliseum structure by an expansion joint. The structure of the building must be adequate to resist the applied design loading, satisfy the performance criteria for such items as deflection and vibration control, and accommodate the architectural design. For this building the following structural systems are anticipated:

# Foundation

The foundation for the building will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based upon comparable geotechnical information from the area, it is anticipated that the foundation system will consist of drilled underreamed piers at each column, bearing at a depth of approximately 20 feet below grade in glauconite. Typical piers are expected to be approximately 30 inches in diameter with 60-inch diameter bells. Temporary steel casing for pier installation is anticipated.

The practice facility must be excavated and constructed adjacent to the existing Coliseum structure. The elevation of the ground floor of the proposed practice facility is approximately 16 feet below the existing concourse slab level. Because of that, it is anticipated that a performance-specified permanent soil retention system will be required along the entire length of the existing building at the interface with the practice facility and on the west face of the practice facility where the practice court slab is more than 6 feet lower than existing grade (see A3.01). An 8-inch thick concrete wall or non-structural CMU partition wall is expected to be built to enclose the structure inside the permanent soil retention system.

Pier-supported, low-height concrete retaining walls are expected at the north and east faces where the practice court slab is lower than existing grade, and at the west face where the existing grade is less than six feet above the practice court elevation. The building cladding is expected to be supported on these walls. A grade beam will be provided under the walls and intermediate piers between the column lines are anticipated. The grade beam is anticipated to be 36" wide by 36" deep and have 45 plf reinforcement.

One existing exterior belled pier and grade beam (currently outside the building footprint) will be demolished and replaced inside the building footprint. A low-clearance drilling rig may be required. This will require demolition and replacement of approximately 100 square feet of slab on grade inside the building.

# Tunnel

An underground tunnel from the practice facility to the existing court is anticipated. It is anticipated that this tunnel will consist of concrete walls 14 inches thick, a concrete roof at least 12 inches thick and the bottom will be a 12-inch mat slab, which will also serve as the footing. Construction of the tunnel will require demolition and replacement of a portion of the existing concourse slab on grade and seating bowl slab. Performance-specified temporary soil retention will be required each side of the tunnel during construction – the width of the slab to be demolished is expected to extend 5 feet beyond the footprint of the tunnel on all sides. Additional piers may be required under the tunnel to resist buoyancy in the case of flooding, pending a groundwater and flooding investigation. Existing utilities which may run across the path of the slab will need to be re-routed.

# Ground Level Structure

It is anticipated that the ground floor of the practice facility addition will consist of a 5" slab-on-grade reinforced with #3 bars at 16" on-center each way, over prepared subgrade. Subgrade preparation is anticipated to consist of removal of on-site soils and replacement with select fill. The slab-on-grade will be placed over a 15 mil, Class A vapor retarder. Perimeter grade beams are anticipated to be 18" wide x 30" deep with 25 plf reinforcement. Grade beams are expected to be isolated from the subgrade with 8" to 12" deep carton void forms, and soil retainers each side to prevent soil from entering the void space. Additional piers may be required between columns to reduce the span of concrete beams. As new piers must be located a sufficient distance away from existing piers, some stiff cantilevered pier caps or strap beams are expected. These are expected to be 36 to 48 inches deep with 6 pounds per cubic foot reinforcement.

# • Typical Upper Level Structure

The concourse level floor is anticipated to consist of a 3.5" light-weight concrete slab over 3" composite deck, supported by wide-flange beams at 8' to 10' on-center. Beam depths are expected to range from 12" to 18" depending on span. Girder depths are expected to range from 18" to 30". Projected material requirements for structural members (beams, girders, and columns) is 8.5 pounds of steel per square foot of gross floor area. Material for secondary members (edge angles, bent plates, opening framing, brick lintels, vertical bracing, equipment supports, etc.) is in addition to the above material requirements.

The weight room at the concourse level is expected to require a floating, impact-resistant slab for vibration mitigation in addition to the composite slab.

# Typical Roof Structure

# Basketball Court Area – Option A

It is anticipated that the roof framing will consist of 60-inch deep glue-laminated ("glulam") girders spanning 90 feet across the court spaced at 28 feet on center. Additional glulam beams will span between the girders at 14 ft spacing. The roof is expected to consist of 3" deep x 18 gage steel roof deck. Acoustic deck shall be used over court area. Wide-flange columns are expected be used to support the superstructure.

# Basketball Court Area – Option B

It is anticipated that the roof framing will consist of deep long-span steel joists spanning 90 feet across the court spaced at 10 to 15 feet on center. Bridging by the joist manufacturer will span between the joists. Perimeter girders are expected to be wide-flange steel beams. The roof is expected to consist of 3" deep x 18 gage steel roof deck. Acoustic deck shall be used over court area. Wide-flange columns are expected to be used to support the superstructure.

 Roof areas of the practice court addition which are not over the basketball practice court are expected to consist of 3" deep x 18 gage steel roof deck, open-web steel bar joists, and steel girders. Wide-flange or tube steel columns are expected to be used to support the superstructure.

# Lateral Stability

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Concept Pricing Narrative

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The lateral stability of the building is expected to be provided by rigid steel frames and steel bracing located to have minimal impact on the architectural configuration of the building. The permanent soil retention system works as a part of the lateral system in that it prevents the soil from loading the new structure.

# Vertical Circulation

The elevator shaft and stair enclosures may consist of partially grouted 8" reinforced concrete masonry walls to achieve the necessary fire rating. Stairs are anticipated to be performance-specified steel framed construction with concrete filled metal pans.

# **Coliseum – Administrative Offices Addition**

The administrative office addition will be separated from the existing coliseum structure by an expansion joint. The structure of the building must be adequate to resist the applied design loading, satisfy the performance criteria for such items as deflection and vibration control, and accommodate the architectural design. For this building the following structural systems are anticipated:

# Foundation

The foundation for the building will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based upon our previous experience, it is anticipated that the foundation system will consist of drilled underreamed piers at each column, bearing at a depth of approximately 20 feet below existing grade in glauconite. Typical piers are expected to be approximately 30 inches in diameter with 60-inch diameter bells. Temporary steel casing for pier installation is anticipated.

# Ground Level Structure

It is anticipated that the ground floor of the practice facility addition will consist of a 5" slab-on-grade reinforced with #3 bars at 16" on-center each way, over prepared subgrade. Subgrade preparation is anticipated to consist of removal of on-site soils and replacement with select fill. As current grade slopes and is significantly lower than the stadium concourse level, a significant amount of fill should be anticipated (up to 16 feet at the worst case). The slab-on-grade will be placed over a 15 mil, Class A vapor retarder. Perimeter grade beams are anticipated to be 18" wide x 30" deep with 25 plf reinforcement, unless deeper beams are required due to the fill requirements of the site. Grade beams are expected to be isolated from the subgrade with 8" to 12" deep carton void forms, and soil retainers each side to prevent soil from entering the void space. Additional piers may be required between columns to reduce the span of concrete beams. As new piers must be located a sufficient distance away from existing piers, some stiff cantilevered pier caps and strap beams are expected. These are expected to be be 36 to 48 inches deep with 6 pounds per cubic foot reinforcement.

# Typical Upper Level Structure

The concourse level floor is anticipated to consist of a 3.5" light-weight concrete slab over 3" composite deck, supported by wide-flange beams at 8' to 10' on-center. Beam depths are expected to range from 12" to 18" depending on span. Girder depths are expected to range from 18" to 30". Projected material requirements for structural members (beams, girders, and columns) is 7.5 pounds of steel per square foot of gross floor area. Material for secondary members (edge

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angles, bent plates, opening framing, brick lintels, vertical bracing, equipment supports, etc.) is in addition to the above material requirements.

# Typical Roof Structure

It is anticipated that the roof framing will consist of 1.5" deep x 20 gage steel roof deck, open-web steel bar joists, and steel girders. Wide-flange or tube steel columns are expected to be used to support the superstructure.

# Lateral Stability

The lateral stability of the building is expected to be provided by rigid steel frames and steel bracing located to have minimal impact on the architectural configuration of the building.

# Vertical Circulation

The elevator shaft and stair enclosures may consist of partially grouted 8" reinforced concrete masonry walls to achieve the necessary fire rating. Stairs are anticipated to be performance-specified steel framed construction with concrete filled metal pans.

# Coliseum – Concourse Restrooms, Concession and Bunker Club Additions

The concourse additions will be separated from the existing coliseum structure by an expansion joint. The structure of the building must be adequate to resist the applied design loading, satisfy the performance criteria for such items as deflection and vibration control, and accommodate the architectural design. For this building the following structural systems are anticipated:

#### Foundation

The foundation for the building will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based upon comparable geotechnical information from the area, the foundation is expected to consist of drilled underreamed piers bearing at an MSL elevation of approximately 264' in glauconite. Typical piers are expected to be approximately 24 inches in diameter with 48-inch diameter bells. Temporary steel casing for pier installation is anticipated.

# Ground Level Structure

It is anticipated that the ground floor of the additions will consist of a 5" slab-on-grade reinforced with #3 bars at 16" on-center each way, over prepared subgrade. Subgrade preparation is anticipated to consist of removal of on-site soils and replacement with select fill. The slab-on-grade will be placed over a 15 mil, Class A vapor retarder. Perimeter grade beams are anticipated to be 18" wide x 30" deep with 20 plf reinforcement, unless deeper beams are required due to the fill requirements of the site and relative distance of adjacent grade. Piers are expected to be spaced at 20 feet on center (maximum).

# Typical Roof Structure

It is anticipated that the roof framing will consist of 1.5" deep x 20 gage steel roof deck, open-web steel bar joists, and steel girders. The steel framing is expected to be primarily supported by load-bearing 8" CMU walls. Some interior tube steel columns may be required and steel lintels are expected at large masonry openings.

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# Lateral Stability

The lateral stability of the buildings is expected to be provided by load-bearing CMU shear walls.

# **Field House**

The structure of the building must be adequate to resist the applied design loading, satisfy the performance criteria for such items as deflection and vibration control, and accommodate the architectural design. For this building the following structural systems are anticipated:

# Foundation

The foundation for the building will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based upon our previous experience, it is anticipated that the foundation system will consist of drilled underreamed piers at each column bearing at a depth of approximately 20 feet below grade in glauconite. Typical piers are expected to be approximately 30 inches in diameter with 60-inch diameter bells. Temporary steel casing for pier installation is anticipated.

Because the Field House has multiple levels on-grade and is adjacent to the existing Academics Center (to remain), it is anticipated that a performance-specified permanent soil retention system will be required along the north and west sides of the lower level building. An 8-inch thick concrete wall or non-structural CMU partition wall is expected be built to enclose the structure inside the permanent soil retention system.

A concrete retaining wall is anticipated along the north face of the building behind the driveway. The retaining wall is expected to be 18"-24" thick and supported on a continuous concrete footing.

# Ground Level Structure

It is anticipated that both the ground floor, as well as the portion of the second level that is ongrade will consist of a 5" slab-on-grade reinforced with #3 bars at 16" on-center each way, over prepared subgrade. Subgrade preparation is anticipated to consist of removal of on-site soils and replacement with select fill. The slab-on-grade will be placed over a 15 mil, Class A vapor retarder. Perimeter grade beams are anticipated to be 18" wide x 30" deep with 25 plf of reinforcing. Grade beams are expected to be isolated from the subgrade with 8" to 12" deep carton void forms, and soil retainers each side to prevent soil from entering the void space. A thickened slab and side walls are expected at the hydrotherapy pits.

# • Typical Upper Level Structure

The Level 2 floor is anticipated to consist of a 3.5" light-weight concrete slab over 3" composite deck, supported by wide-flange beams at 8' to 10' on-center. Beam depths are expected to range from 14" to 21" depending on span. Girder depths are expected to range from 24" to 36". Projected material requirements for structural members (beams, girders, and columns) is 9.5 pounds of steel per square foot of gross floor area. Material for secondary members (edge angles, bent plates, opening framing, brick lintels, vertical bracing, equipment supports, etc.) is in addition to the above material requirements.

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# Typical Roof Structure

It is anticipated that the roof framing will consist of 1.5" deep x 20 gage steel roof deck, open-web steel bar joists, and steel girders. Wide-flange and tube steel columns are expected be used to support the superstructure.

# Lateral Stability

The lateral stability of the building is expected to be provided by rigid steel frames and steel bracing located to have minimal impact on the architectural configuration of the building. The permanent soil retention also acts as part of the lateral system, as it prevents soil from loading the new building structure.

# Vertical Circulation

The elevator shaft and stair enclosures may consist of partially grouted 8" reinforced concrete masonry walls to achieve the necessary fire rating. Stairs are anticipated to be performance-specified steel framed construction with concrete filled metal pans.

# **Football Weight Room**

The football weight room will be separated from the field house by an expansion joint. The structure of the building must be adequate to resist the applied design loading, satisfy the performance criteria for such items as deflection and vibration control, and accommodate the architectural design. For this building the following structural systems are anticipated:

# Foundation

The foundation for the building will be designed in accordance with the final Geotechnical Engineering Report prepared specifically for this site. Based upon comparable geotechnical recommendations for the area, it is anticipated that the foundation system will consist of concrete footings at each column, approximately 4'-0" square by 2'-0" deep with 3 pounds per cubic foot of reinforcement. Footings are expected to bear approximately five feet below existing grade.

# Ground Level Structure

It is anticipated that both the ground floor will consist of a 5" slab-on-grade reinforced with #3 bars at 16" on-center each way, over prepared subgrade. Subgrade preparation is anticipated to consist of removal of on-site expansive soils and replacement with select fill. The slab-on-grade will be placed over a 15 mil, Class A vapor retarder. Perimeter grade beams are anticipated to be 18" wide x 24" deep with 18 plf of reinforcing.

# Typical Roof Structure

# Football Weight Room – Option A

It is anticipated that the roof framing will consist of 48-inch deep moment-connected glue-laminated ("glulam") members spanning 65 feet across the space at 30 feet on center. Glulam beams (30" deep) will span between the girders at 15 ft spacing. The roof is expected to consist of 3" deep x 18 gage steel roof deck. Wide-flange columns are expected be used to support the superstructure.

# • Football Weight Room – Option B

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It is anticipated that the roof framing will consist of steel trusses spanning 65 feet across the space at 30 feet on center. Approximate truss depth is 6 ft. Wide-flange steel beams will span between the girders at 15 ft spacing. The roof is expected to consist of 3" deep x 18 gage steel roof deck. Wide-flange columns are expected to be used to support the superstructure.

# • Lateral Stability

The lateral stability of the building is expected to be provided by rigid frames at each column line as well as steel braced frames at the perimeter.

# MEP Pricing Narrative for Coliseum Project Stephen F. Austin State University Nacogdoches, Texas

August 23, 2018



Prepared by: Purdy-McGuire, Inc.



# **MEP SD Narrative for Coliseum**

The Coliseum project is to be priced as 8 independent components.

The 8 components are as defined on Architectural Drawings and are:

- 1. Basketball Practice Facility
- 2. Concourse Level South Renovation
- 3. Base Case East/West Additions
- 4. Northwest Support Addition
- 5. Event Level South Renovation
- 6. West Club Addition
- 7. Bunker Club Addition
- 8. Bowl Remediation

In addition, there shall be separate pricing (one total price for work noted in paragraph below) for other Coliseum existing MEP upgrades as follows:

From facility assessment and interviews with SFA MEP facilities team, there are existing Coliseum MEP systems that are beyond their useful life or need to be enhanced. These items below shall be priced separately from the 8 components above for SFA to evaluate:

- The existing chilled water system (supply and return) has pin hole leaks throughout. Price to replace all chilled water piping from central plant to all existing to remain AHUs. Piping shall be domestic manufactured black steel insulated piping.
- The existing sanitary piping has corroded causing leaks throughout. Replace existing sanitary piping in all areas not being renovated.
- The existing galvanized domestic water piping has had pin hole leaks throughout and has internal sediment build up. Replace existing domestic water piping in all areas not being renovated with new insulated copper.
- Exterior pole lighting needs to be upgraded. There are many dark spots at the entrance walks. Provide new pole lighting at 3 foot-candles typical for all paved areas.

# **Basketball Practice Facility**

The project will be a new two-story Practice Facility and support functions adjacent/attached to the existing Coliseum

Refer to Architectural Drawings for floor plans and phasing.

All material, equipment and workmanship shall comply with SFA Design/Construction Standards

# **MECHANICAL SYSTEM:**

# **Existing Central Plant for New Basketball Practice Facility**

- 1) The existing building has a water- cooled central plant (two Trane chillers with VFDs at 450 tons each) with sufficient chiller capacity to support this expansion. Currently one 450-ton chiller serves the building on a peak occupant day but requires both cooling towers to achieve this.
- 2) So, the new scope for this central plant will be to provide a new 450-ton cooling tower cell outdoors (to match the two existing cells) and be piped in parallel with existing. Cooling tower shall be all stainless. Fan motor shall have VFD. The underground condenser water piping does NOT need to be replaced or additional pipe added since condenser flow is sufficient for both chillers. The intent it to add this third cell for cooling tower capacity to lower the condenser water supply temperature to chillers when both are running.
- 3) Anticipating a new additional cooling load for the new building of approximately 300 tons (70,000 sf at approx. 250 sf/ton), provide two new (1 is redundant) 600 GPM chilled water pumps with VFDs. RPM shall not exceed 1800. New pumps will be located in former shooting range (beside central plant) or in new mechanical room in new building. This will be determined later but should have no adverse effect one way or the other on pricing.
- 4) Provide flow meters in the new chilled water supply pipe before exiting the central plant.
- 5) Heating source is all electric. No natural gas or heating water is available for heating.

# **Chilled Water Distribution to New Basketball Practice Building**

- 1) Provide 6" chilled water supply and return pipes from the existing central plant to the new expansion building routed inside the perimeter of the coliseum. Provide 4" valved connections for New Northwest Support Addition.
- 2) All chilled water piping shall be welded Schedule 40 black steel, US domestic manufactured. <u>Foreign manufactured piping will not be allowed.</u> All piping shall be insulated with preformed fiberglass insulation with white all service jacket with vapor barrier.
- 3) Provide isolation valves leaving the central plant and where they turn up into the expansion area.

# **Air Handling Systems**

- 1) The Practice Facility shall be served as follows:
  - a. Basketball Court AHU:
    - i. One AHU (30,000 CFM) shall serve this two-story area and be chilled water, medium pressure, double wall, VAV Air-Handling Units with minimum outside and maximum outside air (for economizer cycle) dampers, air flow station on OA damper section, return/relief fans, MERV 8 pre-filters, MERV 13 final filters, electric preheat heating coil, chilled water coil, electric reheat heating coil and fan wall controlled by two variable frequency drives (each VFD shall serve 50% of the fan motors). Control valve shall be 3-way modulating type to maintain flow to remote area.
    - ii. AHU shall be Temtrol or equal.
    - iii. To conserve energy at part load, AHU will not be constant volume but rather function as "A Large VAV box" with 55 deg F discharge to maintain low humidity at part load and using the VFD to maintain space temperature. VFD will control to a minimum flow to maintain space temperature.
    - iv. There shall be sound attenuation on both the supply air discharge on all AHUs as well as the return air into mechanical room. Sound attenuators would be sized for no more than 1000 FPM (supply) and 800 FPM (return).
    - v. Provide filtered penthouse OA louver ducted to OA intake on AHU.
  - b. Practice Facility Support Space and Club/Operations Space AHUs

- i. The two floor Practice Facility support space AHU (25,000 CFM) and the one level Club/Operations Space AHU (40,000 cfm) serving these areas shall be chilled water, medium pressure, double wall, VAV Air-Handling Units with minimum outside and maximum outside air (for economizer cycle) dampers, air flow station on OA damper section, return/relief fans, MERV 8 pre-filters, MERV 13 final filters, electric preheat heating coil, chilled water coil, electric reheat heating coil and fan array controlled by two variable frequency drives. Control valves shall be 2way modulating on both AHUs.
- ii. AHUs shall be Temtrol or equal.
- iii. There shall be sound attenuation on both the supply air discharge on all AHUs as well as the return air into mechanical room. Sound attenuators would be sized for no more than 1000 FPM (supply) and 800 FPM (return).
- iv. Provide a dedicated filtered penthouse OA louver ducted to each AHU.

# **Air Distribution Systems**

- 1) The Practice Facility air distribution systems shall be:
  - a. Basketball Court:
    - i. Since this is a single zone AHU with exposed glulam beam structure overhead, provide double wall round ductwork (with double deflection discharge grilles) routed perpendicular to the glulam beams. This will be a high visual area, so special attention shall be placed on visual appearance of these ducts including having air craft cable supports and not duct straps.
  - b. Practice Facility support spaces:
    - i. Perimeter areas shall have series fan powered boxes with electric heat.
    - ii. Interior areas shall have VAV with electric reheat for warm up.
    - iii. All boxes shall have heat except electrical rooms and MDF/IDF rooms.
    - iv. In areas with ceilings, low pressure ductwork shall be externally insulated ductwork serving perimeter slots and ceiling diffusers.
    - v. In exposed ceiling areas, provide double wall ductwork serving side wall grilles.
    - vi. All boxes shall be interfaced with occupancy sensors to bring the box to zero when unoccupied.
    - vii. Practice Facility support spaces shall have 12 series fan powered boxes (each with DDC sensors for local temperature control).
    - viii. All boxes shall be networked DDC.
    - ix. For the MDF room, two (2) DX split systems shall be provided for cooling independent from building HVAC. The DX units will be 100% redundant with the condensers located on the roof.
    - x. All electric rooms and IDF rooms shall be cooled by a VAV cooling-only box on the building HVAC.
    - a. All ductwork (except in wet/damp areas) downstream of VAV boxes shall be galvanized sheet metal constructed for 2" W.G. Provide 4" W.G. for all medium pressure ductwork. Provide aluminum or stainless-steel duct in wet/damp areas such as restrooms. Provide duct sealing to meet SMACNA standards.
    - b. All ductwork penetrating rated shafts shall have fire/smoke dampers protecting the opening. Typical concealed ductwork shall be externally insulated (no internal fiber insulation permitted) with 2" fiberglass insulation, wrapped with vapor seal.
    - c. Provide dedicated cooling/heating mini-split DX unit for elevator machine rooms.
    - d. Return air system will be a plenum return back to the AHUs. Return air boots will be provided through all walls-to-deck. Return air boots shall be sized to 500 FPM.
    - e. Provide all necessary studies required to comply and submit to the State Energy Conservation Office will be completed. The building shall exceed ASHRAE 90.1-2010 baseline by a minimum of 20%.

# **Relief and Toilet Exhaust Air**

1) Provide toilet exhaust systems for each restroom, locker room and janitors closet.

# **Concourse Level South Addition**

- 1) This area shall be served by two new Temtrol chilled water VAV AHU similar to practice facility support space above. Each AHU shall be 4,500 CFM.
- 2) Units shall be located between structural trusses above areas served (with sufficient catwalks or platforms built for maintenance access).
- 3) Extend chilled water from chilled water mains at existing AHUs on mezzanine above Basketball Court. Chilled water control valves shall be 3 way to maintain chilled water flow during low load conditions.

# **Concourse Level Base Case East/West Amenity Additions**

- 1) The East Area and West Areas shall be served from their own single Temtrol chilled water VAV AHU similar to practice facility support space above. Each AHU shall be 5,000 CFM.
- 2) Units shall be located between structural trusses above areas served (with sufficient catwalks or platforms built for maintenance access).
- 3) Extend chilled water from chilled water mains at existing AHUs on mezzanine above Basketball Court. Chilled water control valves shall be 3 way to maintain chilled water flow during low load conditions.

# **Northwest Support Addition**

# **Air Handling Systems**

- 1) AHU
  - a. This AHU shall be served from the 4" chilled water valved connections noted above from 6" chilled water serving Practice Facility.
  - b. The AHU shall be a chilled water VAV unit same as practice facility support space AHU noted above. AHU shall be 40,000 cfm. Control valve shall be 2-way modulating on AHU in lieu of 3-way since AHU is not at end of run.
  - c. AHUs shall be Temtrol or equal.
  - d. There shall be sound attenuation on both the supply air discharge on all AHUs as well as the return air into mechanical room. Sound attenuators would be sized for no more than 1000 FPM (supply) and 800 FPM (return).
  - e. Provide a dedicated filtered penthouse OA louver ducted to each AHU.

# **Air Distribution Systems**

- 1) The air distribution systems shall be similar to practice facility support space noted above. Anticipate 12 series fan powered boxes.
- 2) Provide toilet exhaust systems for each restroom, locker room and janitors closet. Provide kitchen exhaust duct and fans if Club is to have Type 1 or Type 2 exhaust hoods.

# Event Level - South End Visitors' Facilities Renovation

- 1) This area shall be served from its own new Temtrol chilled water VAV AHU similar to practice facility support space above. AHU shall be 15,000 CFM.
- 2) Units shall be located between structural trusses above concourse area and ducted down in shaft beside electrical room and stair. Unit shall be located with sufficient catwalks or platforms built for maintenance access).
- 3) Extend chilled water from chilled water mains at existing AHUs on mezzanine above Basketball Court. Chilled water control valves shall be 3 way to maintain chilled water flow during low load conditions.

# West Club Addition in-lieu-of Base Case West Amenity Addition

- 1) This area shall be served from its own new Temtrol chilled water VAV AHU similar to practice facility support space above. AHU shall be 15,000 CFM.
- 2) Unit shall be located between structural trusses above concourse area.
- 3) Extend chilled water from chilled water mains at existing AHUs on mezzanine above Basketball Court. Chilled water control valves shall be 3 way to maintain chilled water flow during low load conditions.

# **Bunker Club Addition**

- 1) This area shall be served from its own new Temtrol chilled water VAV AHU similar to practice facility support space above. AHU shall be 9,000 CFM.
- 2) Unit shall be located in storage room beside restroom rooms in Bunker Area.
- 3) Extend chilled water from new 6" chilled water mains serving Basketball Practice Area. Chilled water control valves shall be 3 way to maintain chilled water flow during low load conditions.

# **Bowl Remediation**

- 1) All AHUs above bowl on mezzanine were replaced 10 years ago and are in good condition.
- 2) Smoke exhaust system is manual, and capacity is unknown so provide a new automated smoke exhaust system for the bowl with roof mounted smoke exhaust fans (activated by beam detectors and sprinkler flow).
- 3) Provide automated make up air louvers for this exhaust system around perimeter for introducing low velocity make up air flow (200 feet per minute).
- 4) The existing fluorescent court lighting has no controls and requires scaffolding when replacing fixtures. Provide all new LED sports lighting and associated lighting controls.
- 5) The Coliseum existing egress lighting is limited to perimeter of concourse. Provide egress lighting with battery backup throughout to comply with code in areas not being renovated.
- 6) The existing building is not sprinklered. Provide new fire water service, fire pump (if required for pressure) and sprinkler/standpipe system to comply with code.

# **Energy Management System for all projects**

- 1) Each AHU and boxes shall be networked to existing BMS (Siemens).
- 2) The DCC contractor is to provide a complete and working BMS.
- 3) The following systems are to be monitored/controlled by the BMS:
  - a) New Cooling Tower Cell
  - b) New Chilled Water Pumps
  - c) New Condenser Water Pump

- d) New Air Handling Units
- e) New DX Split Systems
- f) New Exhaust Fans
- g) New Relief fans
- h) New VAV boxes
- i) New VAV Boxes with Reheat
- i) New Series Fan Powered Boxes

# FIRE SUPPRESSION AND PLUMBING NARRATIVE

# **Division 21 – FIRE SUPPRESSION**

# **FIRE PROTECTION SYSTEM:**

# **Existing Building**

1) The existing building is not sprinklered. Provide new fire water service, fire pump (if required for pressure) and sprinkler/standpipe system to comply with code. This pricing shall be included under Bowl Remediation.

# **New Basketball Practice Building**

- 2) Provide a new 8" Fire Water service with back flow prevention.
- 3) Fire protection shall be turn-key design/build complying with all applicable codes.
- 4) All portions of new building shall be fully sprinkled with a wet system.
- 5) Wet sprinkler heads in ceilings shall be concealed type centered both directions in ceiling tiles and in symmetrical pattern in gyp board ceilings.
- 6) Areas without ceilings shall have exposed upright heads.
- 7) The available pressure is unknown. Provide an alternate for an electric fire pump if pressure is insufficient.
- 8) Locate FDCs as directed by Fire Marshall.
- 9) All fire protection piping shall be black steel US domestic manufactured. <u>Foreign manufactured piping will not be</u> allowed.
- 10) This new fire service shall also serve Northwest Service Building Addition

# **Division 22 - PLUMBING**

# **PLUMBING SYSTEM:**

# **Building Civil Utility Coordination**

- 1) A new 6" sanitary sewer line shall serve the new Practice Facility and Northwest Support Addition. Sanitary service shall flow by gravity to utility connection 5 feet outside of building.
- 2) A new 4" domestic water line shall serve the new Practice Facility and Northwest Support Addition. The existing 3" service is galvanized, has pin hole leaks and is not sufficient in size to serve all renovated areas. So, extend this new 4" service around concourse to all renovated areas.
- 3) For new Practice Facility and Northwest Support Addition storm water shall be collected from roof drains and extend through downspouts to underground storm connections by civil utility.
- 4) Provide secondary roof drains with downspouts discharging above grade.

5) Natural gas service is not available in the building or on site (connection would be approximately 3 blocks away). All new kitchen equipment, water heating and space heating shall be electric. However, as an alternate provide a price for bringing a new natural gas service (assume 2" high pressure) to the building for future Club Kitchen.

# **Plumbing Systems in Existing Building**

- 1) The existing domestic water system is galvanized piping. The campus is experiencing pin hole leaks throughout. The domestic water (cold and hot) needs to be replaced in its entirety with copper.
- 2) The existing sanitary piping is beyond its useful life. All renovated areas shall have new sanitary waste and vent piping.
- 3) Existing 1000-gallon electric water heater system in central plant shall serve all areas (with hot water piping and recirc) except practice facility building. New water heaters for the practice facility are noted below.
- 4) Provide point of use new grease interceptor for each concessions area.

# **Plumbing System in New Practice Facility Building**

- 1) The utility domestic water pressure is assumed to be sufficient such that a duplex booster pump system will not be required. The incoming service shall have a reduced pressure backflow preventor where it turns up in domestic water riser room.
- 2) Plumbing fixtures shall be commercial grade. Water closets shall be 1.28gpf flush valve type with infrared battery-powered sensors. Urinals shall 0.5gpf flush valve type with infrared battery-powered sensors. All lavatories shall have low flow 0.5 GPM faucets with infrared sensors.
- 3) No geotechnical report has been provided yet, so budget shall include subsoil drainage and sump pump for the new building until this can be confirmed.
- 4) Provide floor drains with trap guards in all public restrooms, janitor's closets, and mechanical rooms.
- 5) Provide floor sinks with trap guards in fire riser room and domestic water riser room.
- 6) Provide freeze proof key type hose bibs on perimeter of building with one on each side of the building and on roof directly above mechanical rooms.
- 7) Provide hose bibs in fire riser room, domestic water riser room and in each mechanical room containing an AHU.
- 8) All storm water from the roof shall be gravity drained to 5 feet outside the building. The overflow drains shall discharge 12" AFF.
- 9) All piping material, insulation, and manufacturers shall meet campus design standards. All piping shall be banded in the correct color per campus design standards.
- 10) Domestic hot water shall be generated in new water heater room. The hot water will be stored at 140 °F and shall be distributed around the building at 110°F with a master mixing valve located beside the water heater. A recirculation pump shall be provided for each hot water loop.
- 11) Water heating shall be electric since no gas is available. Anticipate 2 parallel 500-gallon 150 KW each water heaters.
- 12) The hot water shall serve all hot water fixtures.
- 13) Provide new grease interceptor for Northwest Addition's Club Kitchen.

# | ELECTRICAL NARRATIVE

# **Division 26 - ELECTRICAL**

# **ELECTRICAL SYSTEMS:**

- 1) A new 2500-amp 277/480-volt 3 phase electrical service shall be provided for the new combined Practice Facility Building and Northwest Support building. All other renovated areas will be served from existing main electrical distribution.
- 2) A new campus owned primary switch and transformer served from campus medium voltage distribution shall be provided adjacent to building.
- 3) 2500-amp switchboard shall be service entrance rated with Main Circuit Breaker (100% rated) and have ground fault protection.
- 4) Provide selectively-coordinated overcurrent protection at the main switchboard. Zone-selective interlocking shall be provided as described in IEEE Std 242. In accordance with the NEC®, extend ground-fault protection for the feeders and/or branch-circuits originating from the main service equipment bus immediately downstream of the service disconnecting means.
- 5) Provide grounding per NEC.
- 6) All other ground bars in the electrical rooms, MDF and IDF shall be bonded back to the main ground bar.
- 7) All switchboard and panelboard breakers shall be insulated/molded case fixed mounted, individually mounted, 80% rated with electronic trip down to and including 225Amp breakers. All circuit breakers rated at 1200 amps and larger or weighing more than 42 pounds shall be "draw out" type.
- 8) Switchboards shall be floor mounted with front access but shall have auxiliary sections for lugs to facilitate infrared thermography access. Switchboard shall be equipped with top mounted hoist mechanism to facilitate breaker removal and maintenance. Hoist mechanism shall be constructed to serve entire length of the switchboard.
- 9) Electrical system capacity (extending out to and including the low voltage panelboards) will be designed with 20% growth and shall have "door-in-door fronts for all indoor electrical panels.
- 10) In compliance with ASHRAE 90.1-2010, 50% of receptacles will be switched with the lighting occupancy sensor in enclosed offices, open offices, and computer classrooms.
- 11) Sharing neutrals for multiwire branch circuits will not be allowed. All circuits that require grounded (neutral) conductors shall have dedicated grounded (neutral) conductors not smaller than the ungrounded (phase) conductors for the same circuit.
- 12) All bussing shall be plated copper.
- 13) All conductors shall be copper.
- 14) Low voltage panel boards serving electronic loads shall have double neutrals, feed through lugs, and isolated ground bussing.
- 15) Low voltage transformers shall be K13-Rated. Dry type transformers shall not be "stacked" in electrical rooms. Each transformer shall be floor mounted.
- 16) Provide an IEEE C62.41.2 Location Category C-High, UL 1449 Type 1, secondary surge arrester (SSA on the line side of the service entrance disconnecting means in electrical service-entrance equipment to protect each ungrounded conductor. Transient-voltage surge suppression with high frequency filtering shall be installed at the main electrical service entrance. Low voltage panelboards shall include SPD protection mounted externally adjacent to the panel board
- 17) Provide convenience receptacles throughout the building for cleaning/maintenance not to exceed 50-foot on center.
- 18) Provide convenience receptacles in all mechanical rooms, janitor's closets, storage rooms, and within 25 feet of all equipment for maintenance purposes.

- 19) Provide GFCI type receptacles at grade on outside of building on 100-foot centers maximum. Receptacles shall be installed in NEMA 3R, metal in-use covers similar to TayMac series MX enclosures. Plastic covers are not acceptable.
- 20) Provide GFCI type receptacles on the roof and in mechanical penthouse within 25 feet of all equipment. Roof receptacles shall be mounted on unistrut racks and no closer than 6' from the edge of the building so tie-off is not required.
- 21) Refer to mechanical and plumbing descriptions above for electrical connections to all mechanical and plumbing equipment.
- 22) All wiring devices shall be commercial grade with proper markings for special devices (GFCI, isolated ground, etc.).
- 23) All security, telecom, and data cabling to be routed in EMT conduit from the device to the cable tray. All fire alarm wiring shall be run in EMT conduit. Conduit shall be minimum 3/4".
- 24) A selectively-coordinated electrical study and an arc flash study shall be provide during construction phase by switchgear manufacturer or third party hired by electrical sub-contractor. The necessary deliverables will be furnished including warning labels and component identifications.

# **LIGHTING SYSTEM:**

- 1) Lighting shall compliment and be quality similar to spaces being served.
- 2) Lighting levels shall comply with IES. For instance, offices and related spaces shall be 40 FC, conference rooms 30 FC, locker rooms 30 FC, food service 50 FC, and courts 125 FC.
- 3) All fixtures shall be LED.
- 4) All lighting in the scope of work shall comply with the ANSI/ASHRAE/IESNA 90.1-2010 lighting control requirements.
- 5) One (1) lighting relay panel will be in the electrical room on each floor. Each relay panel shall have an EMS card and an internal time clock.
- 6) Daylight harvesting will be provided for all fixtures within 15' of windows. Lights shall can dim to 10% of full light output.
- 7) Exterior lighting control shall be computer driven control with a wireless relay. Scope shall include a lighting contactor with 120-volt coil. Beside the lighting contactor shall be an 8x8x6 PVC j-box with a 120-volt duplex receptacle (same circuit as the coil).

#### LIFE SAFETY SYSTEMS:

- 1) All exit signs shall be LED edge lit type with clear background and red letters.
- 2) Provide egress lighting at intervals to maintain 1 fc of illumination in path of egress powered by battery packs (no life safety generator will be provided).
- 3) Provide a new code compliant fully addressable intelligent fire alarm system. System shall include but not be limited to required flow/tamper switches, ceiling mounted smoke detectors, duct mounted smoke detectors in AHUs, duct mounted smoke detectors at each fire/smoke damper, shunt trip control in elevator machine room, and ADA/TAS notification devices. System shall be integrated with campus Fire Alarm Systems.

# LIGHTNING PROTECTION SYSTEM:

1) Provide a complete lightning protection system to include rooftop air terminals, conductors, proper grounding, and all required hardware for a complete system to provide a Lightning Protection Institute (LPI) Inspection Program (IP). The lightning protection shall be designed and installed by a contractor licensed to do this work. Drawings shall be submitted to the proper authority for approval prior to beginning installation work.

# MEP Pricing Narrative For Field House Replacement Stephen F. Austin State University Nacogdoches, Texas

August 23, 2018



Prepared by: Purdy-McGuire, Inc.



# **MEP Pricing Narrative**

# **Field House Replacement**

The project will be a new building approximately 95,000 sf two-story (approx. 30,000 sf for level 1 and approx. 65,000 sf for level 2)

Refer to Architectural Drawings for floor plans.

MEP Codes and Standards shall be as follows:

- ASHRAE/IENSA 90.1- <a href="http://seco.cpa.state.tx.us/tbec/statefunded.php">http://seco.cpa.state.tx.us/tbec/statefunded.php</a> follow Interactive Compliance forms for state funded buildings + 2015 IEEC
- Current IBC with Texas Revisions & IEBC
- 2012 International Mechanical Code, and Fuel Gas Code
- 2012 Uniform Plumbing Code & 2012 International Plumbing Code
- NFPA 101 Life Safety Code 2012
- NFPA 70 NEC 2014, NEC 90.4 & NFPA 70E 2015 Electrical Safety
- NFPA 13 Fire Sprinklers 2013
- NFPA 72 Fire Alarm 2013
- Texas Accessibility Standards 2012
- NFPA 1: Fire Code

# Field House Scope of Work

# **MECHANICAL SYSTEM:**

# **Chilled and heating water Central Plant**

- 1) The new buildings shall be served from the remote existing central plant approximately 900 feet away.
- 2) SFA personal are relocating an existing 400-ton Carrier chiller, chilled water primary pump and condenser water pump into this central plant under a separate project to be located beside an existing 400-ton York chiller. This relocated chiller will serve both Field House and Press Box/Club.
- 3) As part of this project, provide a new 400-ton cooling tower cell outdoors (to match the one existing cell) and be piped in parallel with existing. Cooling tower shall be all stainless. Fan motor shall have VFD. This will require a new 3-sided brick and CMU screen wall to match existing since existing CT screening wall is too small to install this cooling tower.
- 4) New condenser water piping shall be provided from cooling tower to relocated chiller with a cross connect so either chiller can be served from either cooling tower. Condenser piping shall be insulated, heat traced and have aluminum jacket. Condenser water by-pass shall discharge into cooling tower basin.
- 5) Chilled water piping inside central plant shall be insulated with pre-formed insulation and white all service jacket.
- 6) Anticipating a new additional cooling load for the new Field House and the New Club/Press box for Football Stadium, of 400 tons (95,000 sf and 24,700 sf respectively at approx. 300 sf/ton diversified), provide two new (1 is redundant) 800 GPM secondary chilled water pumps with VFDs. RPM shall not exceed 1800.
- 7) New chilled water pumps shall be located in the existing central plant.
- 8) Provide flow meters in the new chilled water supply pipe before exiting the central plant.

9) Heating boilers in central plant have sufficient capacity to serve new buildings. So, extend 6" heating water piping from the boiler heating water manifold to pumps below.

10) Anticipating a new additional heating load for the new Field House and the New Club/Press box for Football Stadium, of 3,000,000 BTUH (95,000 sf and 24,700 sf respectively at approx. 25 btuh/sf), provide two new (1 is redundant) 300 GPM heating water pumps with VFDs. RPM shall not exceed 1800.

# Chilled and Heating Water Distribution to New Field House and Press Box

- 1) Provide 8" chilled water and 6" heating water direct buried factory insulated (equal to Thermacor) supply and return pipes from the existing central plant to the new field house building.
- 2) Due to pipe length, include required expansion loops.
- 3) All chilled and heating water piping shall be black steel, US domestic manufactured. <u>Foreign manufactured piping</u> will not be allowed.
- 4) Provide isolation valves leaving the central plant and where they turn up into the Field House.
- 5) Provide 4" valved taps for chilled water and 2.5" valved taps for heating water to serve New Club/Press Box. Valves shall be located in an underground assessible valve box for extension to that building in another project.

# **Air Handling Systems**

- 1) Field House AHUs
  - a. Provide four AHUs (30,000 CFM each) for serving the 95,000 sf two level building.
  - b. AHUs shall be chilled water, medium pressure, double wall, VAV Air-Handling Units with minimum outside and maximum outside air (for economizer cycle) dampers, air flow station on OA damper section, return/relief fans, MERV 8 pre-filters, MERV 13 final filters, heating water preheat heating coil (to protect chilled water coil), chilled water coil, heating water reheat coil (for morning warm up) and fan array controlled by two variable frequency drives. Two far end AHUs shall have 3-way modulating control valves for maintaining minimum flow through chiller. The close two AHUs shall be 2-way modulating.
  - c. AHUs shall be Temtrol or equal.
  - d. There shall be sound attenuation on both the supply air discharge on all AHUs as well as the return air into mechanical room. Sound attenuators would be sized for no more than 1000 FPM (supply) and 800 FPM (return).
  - e. Provide a dedicated filtered penthouse OA louver ducted to each AHU.

# **Air Distribution Systems**

- 1) Perimeter areas shall have series fan powered boxes with heating water heat and all level 2 areas shall have series fan powered boxes (due to roof load).
- 2) All interior areas shall have VAV with heating water for warm up.
- 3) All boxes shall have heat except electrical rooms and MDF/IDF rooms.
- 4) In areas with ceilings, low pressure ductwork shall be externally insulated ductwork serving perimeter slots and ceiling diffusers.
- 5) In exposed ceiling areas, provide double wall ductwork serving side wall grilles.
- 6) All boxes shall be interfaced with occupancy sensors to bring the box to zero when unoccupied.
- 7) In the 95,000-sf building assume a total of 45 series fan powered boxes and 45 VAV reheat boxes.
- 8) All boxes shall be DDC and networked to the Siemens Campus BMS.
- 9) For the MDF room, two (2) DX split systems shall be provided for cooling independent from building HVAC. The DX units will be 100% redundant with the condensers located on the roof.
- 10) All electric rooms and IDF rooms shall be cooled by a VAV cooling-only box on the building HVAC.

11) All ductwork (except in wet/damp areas) downstream of VAV boxes shall be galvanized sheet metal constructed for 2" W.G. Provide 4" W.G. for all medium pressure ductwork. Provide aluminum or stainless-steel duct in wet/damp areas such as restrooms. Provide duct sealing to meet SMACNA standards.

- 12) All ductwork penetrating rated shafts shall have fire/smoke dampers protecting the opening. Typical concealed ductwork shall be externally insulated (no internal fiber insulation permitted) with 2" fiberglass insulation, wrapped with vapor seal.
- 13) Provide dedicated cooling/heating mini-split DX unit for elevator machine rooms.
- 14) Return air system will be a plenum return back to the AHUs. Return air boots will be provided through all walls-to-deck. Return air boots shall be sized to 500 FPM.
- 15) Provide all necessary studies required to comply and submit to the State Energy Conservation Office will be completed. The building shall exceed ASHRAE 90.1-2010 baseline by a minimum of 20%.

# **Relief and Toilet Exhaust Air**

1) Provide toilet exhaust systems for each restroom, locker room and janitors closet.

# **Energy Management System**

- 1) The DCC contractor is to provide a complete and working Siemens BMS.
- 2) The following systems are to be monitored/controlled by the Siemens BMS:
  - a) New Cooling Tower Cell
  - b) New Secondary Chilled Water Pumps
  - c) New Heating Water Pumps
  - d) New Air Handling Units
  - e) New DX Split Systems
  - f) New Exhaust Fans
  - g) New Relief fans
  - h) New VAV boxes
  - i) New VAV Boxes with heating water coils
  - j) New Series Fan Powered Boxes with heating water coils

# FIRE SUPPRESSION AND PLUMBING NARRATIVE

# **Division 21 – FIRE SUPPRESSION**

# FIRE PROTECTION SYSTEM:

# **New Building**

- 1) Provide a new 8" Fire Water service with back flow prevention.
- 2) Fire protection shall be turn-key design/build complying with all applicable codes.
- 3) All portions of new building shall be fully sprinkled with a wet system.
- 4) Wet sprinkler heads in ceilings shall be concealed type centered both directions in ceiling tiles and in symmetrical pattern in gyp board ceilings.
- 5) Areas without ceilings shall have exposed upright heads.
- 6) The available pressure is unknown. Provide an alternate for an electric fire pump if pressure is insufficient.
- 7) Locate FDCs as directed by Fire Marshall.
- 8) All fire protection piping shall be black steel US domestic manufactured. <u>Foreign manufactured piping will not be</u> allowed.

# **Division 22 - PLUMBING**

#### **PLUMBING SYSTEM:**

# **Building Civil Utility Coordination**

1) A 6" sanitary sewer line shall serve the new building. Sanitary service shall flow by gravity to utility connection 5 feet outside of building.

- 2) A 4" domestic water line shall serve the new building.
- 3) The existing 3" high pressure gas line service can be reused for this project. Location of meter will change though so include pricing for this scope.
- 4) Storm water shall be collected from roof drains and extend through downspouts to underground storm connections by civil utility.
- 5) Provide secondary roof drains with downspouts discharging above grade.

# **Plumbing System in New Building**

- 1) The utility domestic water pressure is assumed to be sufficient such that a duplex booster pump system will not be required. The incoming service shall have a reduced pressure backflow preventor where it turns up in domestic water riser room.
- 2) Plumbing fixtures shall be commercial grade. Water closets shall be 1.28gpf flush valve type with infrared battery-powered sensors. Urinals shall 0.5gpf flush valve type with infrared battery-powered sensors. All lavatories shall have low flow 0.5 GPM faucets with infrared sensors.
- 3) No geotechnical report has been provided yet, so budget shall include subsoil drainage and sump pump for the new building until this can be confirmed.
- 4) Provide floor drains with trap guards in all public restrooms, janitor's closets, and mechanical rooms.
- 5) Provide floor sinks with trap guards in fire riser room and domestic water riser room.
- 6) Provide freeze proof key type hose bibs on perimeter of building with one on each side of the building and on roof directly above mechanical rooms.
- 7) Provide hose bibs in fire riser room, domestic water riser room and in each mechanical room containing an AHU.
- 8) All storm water from the roof shall be gravity drained to 5 feet outside the building. The overflow drains shall discharge 12" AFF.
- 9) Underground sanitary and storm piping shall be PVC. Above ground shall be no-hub cast iron.
- 10) All domestic hot water, hot water recir and cold water piping shall be copper and insulated.
- 11) Domestic hot water shall be generated in new water heater room. The hot water will be stored at 140 °F and shall be distributed around the building at 110°F with a master mixing valve located beside the water heater. A recirculation pump shall be provided for each hot water loop.
- 12) Water heating shall be natural gas. Anticipate 3 parallel 400-gallon 2,000,000 BTUH each domestic water boilers.
- 13) The hot water shall serve all hot water fixtures.

# | ELECTRICAL NARRATIVE

# **Division 26 - ELECTRICAL**

# **ELECTRICAL SYSTEMS:**

- 1) A new 2500-amp 277/480-volt 3 phase electrical service shall be provided for the new building.
- 2) A new campus owned primary switch and transformer served from campus medium voltage distribution shall be provided adjacent to the building.
- 3) 2500-amp switchboard shall be service entrance rated with Main Circuit Breaker (100% rated) and have ground fault protection.
- 4) Provide selectively-coordinated overcurrent protection at the main switchboard. Zone-selective interlocking shall be provided as described in IEEE Std 242. In accordance with the NEC®, extend ground-fault protection for the feeders and/or branch-circuits originating from the main service equipment bus immediately downstream of the service disconnecting means.
- 5) Provide grounding per NEC.
- 6) All other ground bars in the electrical rooms, MDF and IDF shall be bonded back to the main ground bar.
- 7) All switchboard and panelboard breakers shall be insulated/molded case fixed mounted, individually mounted, 80% rated with electronic trip down to and including 225Amp breakers. All circuit breakers rated at 1200 amps and larger or weighing more than 42 pounds shall be "draw out" type.
- 8) Switchboards shall be floor mounted with front access but shall have auxiliary sections for lugs to facilitate infrared thermography access. Switchboard shall be equipped with top mounted hoist mechanism to facilitate breaker removal and maintenance. Hoist mechanism shall be constructed to serve entire length of the switchboard.
- 9) Electrical system capacity (extending out to and including the low voltage panelboards) will be designed with 20% growth and shall have "door-in-door fronts for all indoor electrical panels.
- 10) In compliance with ASHRAE 90.1-2010, 50% of receptacles will be switched with the lighting occupancy sensor in enclosed offices, open offices, and computer classrooms.
- 11) Sharing neutrals for multiwire branch circuits will not be allowed. All circuits that require grounded (neutral) conductors shall have dedicated grounded (neutral) conductors not smaller than the ungrounded (phase) conductors for the same circuit.
- 12) All bussing shall be plated copper.
- 13) All conductors shall be copper.
- 14) Low voltage panel boards serving electronic loads shall have double neutrals, feed through lugs, and isolated ground bussing.
- 15) Low voltage transformers shall be K13-Rated. Dry type transformers shall not be "stacked" in electrical rooms. Each transformer shall be floor mounted.
- 16) Provide an IEEE C62.41.2 Location Category C-High, UL 1449 Type 1, secondary surge arrester (SSA on the line side of the service entrance disconnecting means in electrical service-entrance equipment to protect each ungrounded conductor. Transient-voltage surge suppression with high frequency filtering shall be installed at the main electrical service entrance. Low voltage panelboards shall include SPD protection mounted externally adjacent to the panel board.
- 17) Provide convenience receptacles throughout the building for cleaning/maintenance not to exceed 50-foot on center.
- 18) Provide convenience receptacles in all mechanical rooms, janitor's closets, storage rooms, and within 25 feet of all equipment for maintenance purposes.
- 19) Provide GFCI type receptacles at grade on outside of building on 100-foot centers maximum. Receptacles shall be installed in NEMA 3R, metal in-use covers similar to TayMac series MX enclosures. Plastic covers are not acceptable.

20) Provide GFCI type receptacles on the roof and in mechanical penthouse within 25 feet of all equipment. Roof receptacles shall be mounted on unistrut racks and no closer than 6' from the edge of the building so tie-off is not required.

- 21) Refer to mechanical and plumbing descriptions above for electrical connections to all mechanical and plumbing equipment.
- 22) All wiring devices shall be commercial grade with proper markings for special devices (GFCI, isolated ground, etc.).
- 23) All security, telecom, and data cabling to be routed in EMT conduit from the device to the cable tray. All fire alarm wiring shall be run in EMT conduit. Conduit shall be minimum 3/4".
- 24) A selectively-coordinated electrical study and an arc flash study shall be provide during construction phase by switchgear manufacturer or third party hired by electrical sub-contractor. The necessary deliverables will be furnished including warning labels and component identifications.

# **LIGHTING SYSTEM:**

- 1) Lighting shall compliment and be quality similar to spaces being served.
- 2) Lighting levels shall comply with IES. For instance, offices and related spaces shall be 40 FC, conference rooms 30 FC, locker rooms 30 FC and food service 50 FC.
- 3) All fixtures shall be LED.
- 4) All lighting in the scope of work shall comply with the ANSI/ASHRAE/IESNA 90.1-2010 lighting control requirements.
- 5) One (1) lighting relay panel will be in the electrical room on each floor. Each relay panel shall have an EMS card and an internal time clock.
- 6) Daylight harvesting will be provided for all fixtures within 15' of windows. Lights shall can dim to 10% of full light output.
- 7) Exterior lighting control shall be computer driven control with a wireless relay. Scope shall include a lighting contactor with 120-volt coil. Beside the lighting contactor shall be an 8x8x6 PVC j-box with a 120-volt duplex receptacle (same circuit as the coil).

# **LIFE SAFETY SYSTEMS:**

- 1) All exit signs shall be LED edge lit type with clear background and red letters.
- 2) Provide egress lighting at intervals to maintain 1 fc of illumination in path of egress powered by battery packs (no life safety generator will be provided).
- 3) Provide a new code compliant fully addressable intelligent fire alarm system. System shall include but not be limited to required flow/tamper switches, ceiling mounted smoke detectors, duct mounted smoke detectors in AHUs, duct mounted smoke detectors at each fire/smoke damper, shunt trip control in elevator machine room, and ADA/TAS notification devices. System shall be integrated with campus Fire Alarm Systems.

# LIGHTNING PROTECTION SYSTEM:

1) Provide a complete lightning protection system to include rooftop air terminals, conductors, proper grounding, and all required hardware for a complete system to provide a Lightning Protection Institute (LPI) Inspection Program (IP). The lightning protection shall be designed and installed by a contractor licensed to do this work. Drawings shall be submitted to the proper authority for approval prior to beginning installation work.

**END** 

# MEP Pricing Narrative For Football Stadium Press Box and Suites Stephen F. Austin State University Nacogdoches, Texas

August 23, 2018



Prepared by: Purdy-McGuire, Inc.



# **MEP Pricing Narrative**

# Football Stadium Press Box and Suites

The project will be a new building approximately 24,000 sf conditioned areas.

Refer to Architectural Drawings for floor plans.

MEP Codes and Standards shall be as follows:

- ASHRAE/IENSA 90.1- <a href="http://seco.cpa.state.tx.us/tbec/statefunded.php">http://seco.cpa.state.tx.us/tbec/statefunded.php</a> follow Interactive Compliance forms for state funded buildings + 2015 IEEC
- Current IBC with Texas Revisions & IEBC
- 2012 International Mechanical Code, and Fuel Gas Code
- 2012 Uniform Plumbing Code & 2012 International Plumbing Code
- NFPA 101 Life Safety Code 2012
- NFPA 70 NEC 2014, NEC 90.4 & NFPA 70E 2015 Electrical Safety
- NFPA 13 Fire Sprinklers 2013
- NFPA 72 Fire Alarm 2013
- Texas Accessibility Standards 2012
- NFPA 1: Fire Code

# **MECHANICAL SYSTEM:**

# **Chilled and Heating Water Distribution**

- 1) Provide 4" chilled water and 2.5" heating water direct buried factory insulated (equal to Thermacor) supply and return pipes from the existing taps in Field House mains to new AHUs in stadium.
- 2) Due to pipe length, include required expansion loops.
- 3) All chilled and heating water piping shall be black steel, US domestic manufactured. <u>Foreign manufactured piping</u> will not be allowed.
- 4) Provide isolation valves leaving the central plant and where they turn up into the Field House.

# **Air Handling Systems**

- 1) Press Box and Suite AHUs
  - a. Provide two AHUs (15,000 CFM each) for serving the 24,000 sf conditioned areas.
  - b. AHUs shall be chilled water, medium pressure, double wall, VAV Air-Handling Units with minimum outside and maximum outside air (for economizer cycle) dampers, air flow station on OA damper section, return/relief fans, MERV 8 pre-filters, MERV 13 final filters, heating water preheat heating coil (to protect chilled water coil), chilled water coil, heating water reheat coil (for morning warm up) and fan array controlled by two variable frequency drives. The two AHUs shall have 3-way modulating control valves for maintaining minimum flow through piping.
  - c. AHUs shall be Temtrol or equal.

d. There shall be sound attenuation on both the supply air discharge on all AHUs as well as the return air into mechanical room. Sound attenuators would be sized for no more than 1000 FPM (supply) and 800 FPM (return).

- e. Provide a dedicated filtered penthouse OA louver ducted to each AHU.
- 2) Concourse Concessions AHUs
  - a. Concessions shall have single zone constant volume chilled/heating water AHUs above concession areas. AHUs shall have OA filter (pull OA from open concourse areas), OA two position damper, pre-heat heating coil, chilled water coil, reheat heating coil and supply fan with ECM motor.
  - b. At cooking concession areas, provide Type 1 hoods with grease exhaust ductwork and grease rated exhaust fans on roof. Ductwork shall be welded black steel with fire wrap and fire rated access doors for cleaning.
- 3) Concourse Restroom Conditioning
  - a. Restrooms shall be exhausted at 2 CFM/sf (higher than code rate) and heated (heating water unit heaters). Spaces will not be air conditioned.
- 4) Concourse Concessions and Restrooms on visitor's side of stadium
  - a. Same requirements as Concession/Restrooms noted above except AHUs will be DX split systems with electric heat since distance is too far to run chilled/heating water piping. Restrooms shall have electric unit heaters.
- 5) Grade Level Lobbies and Box Office
  - a. Areas shall have single zone constant volume chilled/heating water AHUs. AHUs shall have OA filter (pull OA from exterior louver), OA damper, pre-heat heating coil, chilled water coil, reheat heating coil and supply fan with ECM motor.

# **Air Distribution Systems**

- 1) All areas shall have VAV with heating water reheat coils.
- 2) In areas with ceilings, low pressure ductwork shall be externally insulated ductwork serving perimeter slots and ceiling diffusers.
- 3) In exposed ceiling areas, provide double wall ductwork serving side wall grilles.
- 4) All boxes shall be interfaced with occupancy sensors to bring the box to zero when unoccupied.
- 5) In the 24,000 sf conditioned areas, assume a total of 40 VAV reheat boxes.
- 6) All boxes shall be DDC and networked to the Siemens Campus BMS.
- 7) For the Data rooms provide, two (2) DX split systems shall be provided for cooling independent from building HVAC. The DX units will be 100% redundant with the condensers located on the roof.
- 8) All electric rooms and IDF rooms shall be cooled by a VAV cooling-only box on the building HVAC.
- 9) All ductwork (except in wet/damp areas) downstream of VAV boxes shall be galvanized sheet metal constructed for 2" W.G. Provide 4" W.G. for all medium pressure ductwork. Provide aluminum or stainless-steel duct in wet/damp areas such as restrooms. Provide duct sealing to meet SMACNA standards.
- 10) All ductwork penetrating rated shafts shall have fire/smoke dampers protecting the opening. Typical concealed ductwork shall be externally insulated (no internal fiber insulation permitted) with 2" fiberglass insulation, wrapped with vapor seal.
- 11) Provide dedicated cooling/heating mini-split DX unit for elevator machine rooms.
- 12) Return air system will be ducted back to AHUs.
- 13) Provide all necessary studies required to comply and submit to the State Energy Conservation Office will be completed. The building shall exceed ASHRAE 90.1-2010 baseline by a minimum of 20%.

# **Relief and Toilet Exhaust Air**

Provide toilet exhaust systems for each restroom, locker room and janitors closet.

# **Energy Management System**

- 1) The DCC contractor is to provide a complete and working Siemens BMS.
- 2) The following systems are to be monitored/controlled by the Siemens BMS:
  - a) New Air Handling Units
  - b) New DX Split Systems
  - c) New Exhaust Fans
  - d) New Relief fans
  - e) New VAV boxes
  - f) New VAV Boxes with heating water coils

# FIRE SUPPRESSION AND PLUMBING NARRATIVE

# **Division 21 - FIRE SUPPRESSION**

# FIRE PROTECTION SYSTEM:

# **New Building**

- 1) Existing fire service is 6" which shall be reused for new building. Provide a new fire pump since size of existing is unknown. Provide a new back flow preventer.
- 2) Fire protection shall be turn-key design/build complying with all applicable codes.
- 3) All portions of new building shall be fully sprinkled with a wet system.
- 4) An exposed area requiring sprinkler protection shall be a dry system.
- 5) Wet sprinkler heads in ceilings shall be concealed type centered both directions in ceiling tiles and in symmetrical pattern in gyp board ceilings.
- 6) Areas without ceilings shall have exposed upright heads.
- 7) The available pressure is unknown. Provide an alternate for an electric fire pump if pressure is insufficient.
- 8) Locate FDCs as directed by Fire Marshall.
- 9) All fire protection piping shall be black steel US domestic manufactured. <u>Foreign manufactured piping will not be</u> allowed.

# **Division 22 - PLUMBING**

# **PLUMBING SYSTEM:**

# **Building Civil Utility Coordination**

- 1) A new 8" sanitary sewer line shall serve the new Press Box building. A new 6" sewer line shall serve the Visitor side of the stadium.
- 2) Sanitary service shall flow by gravity to utility connection 5 feet outside of building.
- 3) Existing 2" domestic water serving Press Box Building shall be replaced with a 4" domestic water line.
- 4) Provide a new 2" domestic water to serve the Visitor side of the stadium.
- 5) Provide upgraded natural gas service to building to serve water heaters and cooking equipment.
- 6) Storm water shall be collected from roof drains and extend through downspouts to underground storm connections by civil utility.
- 7) Provide secondary roof drains with downspouts discharging above grade.

8) Provide new natural gas service to the Press Box building for serving the domestic hot water boilers and concession food service equipment.

9) Provide a new natural gas service to the Visitor's side for serving concessions food service equipment and domestic water heater.

# **Plumbing System in New Building**

- 1) Provide new reduced pressure back flow preventer on the new incoming domestic water service.
- 2) Provide a duplex house pump system.
- 3) Plumbing fixtures shall be commercial grade. Water closets shall be 1.28gpf flush valve type with infrared battery-powered sensors. Urinals shall 0.5gpf flush valve type with infrared battery-powered sensors. All lavatories shall have low flow 0.5 GPM faucets with infrared sensors.
- 4) No geotechnical report has been provided yet, so budget shall include subsoil drainage and sump pump for the new building until this can be confirmed.
- 5) Provide floor drains with trap guards in all public restrooms, janitor's closets, and mechanical rooms.
- 6) Provide floor sinks with trap guards in fire riser room and domestic water riser room.
- 7) Provide freeze proof key type hose bibs on perimeter of building with one on each side of the building and on roof directly above mechanical rooms.
- 8) Provide hose bibs in fire riser room, domestic water riser room and in each mechanical room containing an AHU.
- 9) All storm water from the roof shall be gravity drained to 5 feet outside the building. The overflow drains shall discharge 12" AFF.
- 10) Underground sanitary and storm piping shall be PVC. Above ground shall be no-hub cast iron.
- 11) All domestic hot water, hot water recir and cold-water piping shall be copper and insulated.
- 12) Domestic hot water shall be generated in new water heater room. The hot water will be stored at 140 °F and shall be distributed around the building at 110°F with a master mixing valve located beside the water heater. A recirculation pump shall be provided for each hot water loop.
- 13) Water heating shall be natural gas. Anticipate 3 parallel 100-gallon 250,000 BTUH each domestic water boilers for Press Box Building and a single 100 gallon 199,000 BTUH domestic water heater for Visitor side hot water needs (lavatories and concessions food service).
- 14) The hot water shall serve all hot water fixtures.
- 15) Provide point of use grease interceptors for each cooking concession area to minimize grease waste piping distances.

# | ELECTRICAL NARRATIVE

# **Division 26 - ELECTRICAL**

# **ELECTRICAL SYSTEMS:**

1) A new 1200-amp 277/480-volt 3 phase electrical service shall be provided for the new building. From this 1200-amp service, extend a 200-amp service/distribution to the visitor's side of stadium for concession and restroom amenities.

- 2) A new campus owned primary switch and transformer served from campus medium voltage distribution shall be provided adjacent to the building. The transformer shall also serve a distribution system for the new LED sports lights on the Press Box Building side.
- 3) The existing transformer serving visitor side HID sports lights, shall be reused and serve new LED sports lights.
- 4) 1200-amp distribution board shall be service entrance rated with Main Circuit Breaker (100% rated) and GFI protection.
- 5) Provide selectively-coordinated overcurrent protection at the main distribution board. Zone-selective interlocking shall be provided as described in IEEE Std 242. In accordance with the NEC®, extend ground-fault protection for the feeders and/or branch-circuits originating from the main service equipment bus immediately downstream of the service disconnecting means.
- 6) Provide grounding per NEC.
- 7) All other ground bars in the electrical rooms, MDF and IDF shall be bonded back to the main ground bar.
- 8) All switchboard and panelboard breakers shall be insulated/molded case fixed mounted, individually mounted, 80% rated with electronic trip down to and including 225Amp breakers. All circuit breakers rated at 1200 amps and larger or weighing more than 42 pounds shall be "draw out" type.
- 9) Switchboards shall be floor mounted with front access but shall have auxiliary sections for lugs to facilitate infrared thermography access. Switchboard shall be equipped with top mounted hoist mechanism to facilitate breaker removal and maintenance. Hoist mechanism shall be constructed to serve entire length of the switchboard.
- 10) Electrical system capacity (extending out to and including the low voltage panelboards) will be designed with 20% growth and shall have "door-in-door fronts for all indoor electrical panels.
- 11) In compliance with ASHRAE 90.1-2010, 50% of receptacles will be switched with the lighting occupancy sensor in enclosed offices, open offices, and computer classrooms.
- 12) Sharing neutrals for multiwire branch circuits will not be allowed. All circuits that require grounded (neutral) conductors shall have dedicated grounded (neutral) conductors not smaller than the ungrounded (phase) conductors for the same circuit.
- 13) All bussing shall be plated copper.
- 14) All conductors shall be copper.
- 15) Low voltage panel boards serving electronic loads shall have double neutrals, feed through lugs, and isolated ground bussing.
- 16) Low voltage transformers shall be K13-Rated. Dry type transformers shall not be "stacked" in electrical rooms. Each transformer shall be floor mounted.
- 17) Provide an IEEE C62.41.2 Location Category C-High, UL 1449 Type 1, secondary surge arrester (SSA on the line side of the service entrance disconnecting means in electrical service-entrance equipment to protect each ungrounded conductor. Transient-voltage surge suppression with high frequency filtering shall be installed at the main electrical service entrance. Low voltage panelboards shall include SPD protection mounted externally adjacent to the panel board.
- 18) Provide convenience receptacles throughout the building for cleaning/maintenance not to exceed 50-foot on center.

19) Provide convenience receptacles in all mechanical rooms, janitor's closets, storage rooms, and within 25 feet of all equipment for maintenance purposes.

- 20) Provide GFCI type receptacles at grade on outside of building on 100-foot centers maximum. Receptacles shall be installed in NEMA 3R, metal in-use covers similar to TayMac series MX enclosures. Plastic covers are not acceptable.
- 21) Provide GFCI type receptacles on the roof and in mechanical penthouse within 25 feet of all equipment. Roof receptacles shall be mounted on unistrut racks and no closer than 6' from the edge of the building so tie-off is not required.
- 22) Refer to mechanical and plumbing descriptions above for electrical connections to all mechanical and plumbing equipment.
- 23) All wiring devices shall be commercial grade with proper markings for special devices (GFCI, isolated ground, etc.).
- 24) All security, telecom, and data cabling to be routed in EMT conduit from the device to the cable tray. All fire alarm wiring shall be run in EMT conduit. Conduit shall be minimum 3/4".
- 25) A selectively-coordinated electrical study and an arc flash study shall be provide during construction phase by switchgear manufacturer or third party hired by electrical sub-contractor. The necessary deliverables will be furnished including warning labels and component identifications.

# **LIGHTING SYSTEM:**

- 1) Lighting shall compliment and be quality similar to spaces being served.
- 2) Lighting levels shall comply with IES. For instance, suites shall be 30 FC, restrooms 30 FC and food service 50 FC, sports field 100-125 FC depending on ruling standards (all existing sports field lighting shall be replaced since berm is being removed).
- 3) All fixtures shall be LED.
- 4) All lighting in the scope of work shall comply with the ANSI/ASHRAE/IESNA 90.1-2010 lighting control requirements.
- 5) One (1) lighting relay panel will be in the electrical room on each floor. Each relay panel shall have an EMS card and an internal time clock.
- 6) Daylight harvesting will be provided for all fixtures within 15' of windows. Lights shall can dim to 10% of full light output.
- 7) Exterior lighting control shall be computer driven control with a wireless relay. Scope shall include a lighting contactor with 120-volt coil. Beside the lighting contactor shall be an 8x8x6 PVC j-box with a 120-volt duplex receptacle (same circuit as the coil).

# **LIFE SAFETY SYSTEMS:**

- 1) All exit signs shall be LED edge lit type with clear background and red letters.
- 2) Provide egress lighting at intervals to maintain 1 fc of illumination in path of egress powered by battery packs (no life safety generator will be provided).
- 3) Provide a new code compliant fully addressable intelligent fire alarm system. System shall include but not be limited to required flow/tamper switches, ceiling mounted smoke detectors, duct mounted smoke detectors in AHUs, duct mounted smoke detectors at each fire/smoke damper, shunt trip control in elevator machine room, and ADA/TAS notification devices. System shall be integrated with campus Fire Alarm Systems.

# LIGHTNING PROTECTION SYSTEM:

1) Provide a complete lightning protection system to include rooftop air terminals, conductors, proper grounding, and all required hardware for a complete system to provide a Lightning Protection Institute (LPI) Inspection Program (IP). The lightning protection shall be designed and installed by a contractor licensed to do this work. Drawings shall be submitted to the proper authority for approval prior to beginning installation work.